



# Planning application guidance

– plans and drawings

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# Introduction

This guidance note is designed to provide information to applicants on the type and standard of plans and drawings that should be submitted in support of a planning application.

Those submitting applications for householder and minor type developments may find this guide most useful.

Detailed drawings are the most important part of your planning application. It is essential therefore, that drawings are of a suitable standard and include all of the information necessary to describe your proposal in detail.

This guidance will assist you in making an application, help to avoid most common mistakes and reduce the delay in your proposal being considered by a planning officer.

It is in your own interests, therefore, to ensure that your plans and drawings meet the standards set out here before you submit your planning application.

If drawings are received that do not contain sufficient detail, the registration of your planning application may be delayed until appropriately revised or further drawings are submitted.

It is also important that your proposals can be clearly understood by third parties (such as neighbours) who may not be familiar with reading plans and drawings.

# Presentation and submission of plans

- All plans and drawings must be accurately drawn, to a suitable standard, using a conventional metric scale such as 1:100 or 1:50.
- Plans/drawings containing disclaimers such as "Not to scale" and "Do not scale" will not be accepted by the council (perspectives excepted). Drawings must be drawn true to stated scales. The following statement is acceptable - "Responsibility is not accepted for errors made by others in scaling from this drawing. All construction information should be taken from figured dimensions only".
- It is good practice to include relevant measured dimensions on plans/drawings.
- The clearest way to present your proposals is to group "existing" and "proposed" drawings side by side, using the same scale for both.
- Each plan/drawing should have a title box stating:
  - the address
  - the proposal
  - the title of the drawing (eg "existing rear elevation, proposed floor plan")
  - the date
  - the scale of the drawing, and a unique drawing number, eg D1, D2, D3, etc.
- Any revisions to the drawings should be clearly identified with a new number, eg D1a, D2b, D3c, etc. The date and details of the revision should also be indicated on the drawing.
- Please fully annotate your plans and drawings to make them completely understandable, eg if a line is shown on the plan between two properties, annotate by stating "boundary fence".
- Every plan (including all copies) that is based upon Ordnance Survey maps should have the appropriate Ordnance Survey copyright notice.
- It is good practice to submit the site location plan on a separate sheet of paper to aid consultation.
- It is helpful to include with your application a covering letter giving details of the background of the site, the submitted proposal, and key considerations.
- A separate list or schedule of drawings, plans and documents, to include the drawing numbers and total number of copies, should be submitted with the application.
- Two copies of each drawing/plan should be submitted with your application:
- When submitting an application for a proposed major development, it would be helpful to submit further sets of plans for consultation purposes.

# Site location plan

A site location plan is a map base that shows the location of the application site in relation to surrounding roads, buildings and other land.

Site location plans should:

- Be taken from an up to date Ordnance Survey Base, or to an equivalent standard.
- Be to a suitable scale of 1:1000, 1:1250 or 1:2500 for larger sites.
- Where possible, cover an A4 sheet of paper with the application site in the centre of the plan.
- Show adjoining road names and numbers.
- Show the application site boundary outlined in red; the access to the site from a public highway should also be outlined in red.
- Show any other adjoining land owned by the applicant outlined in blue.



Example shown not to scale

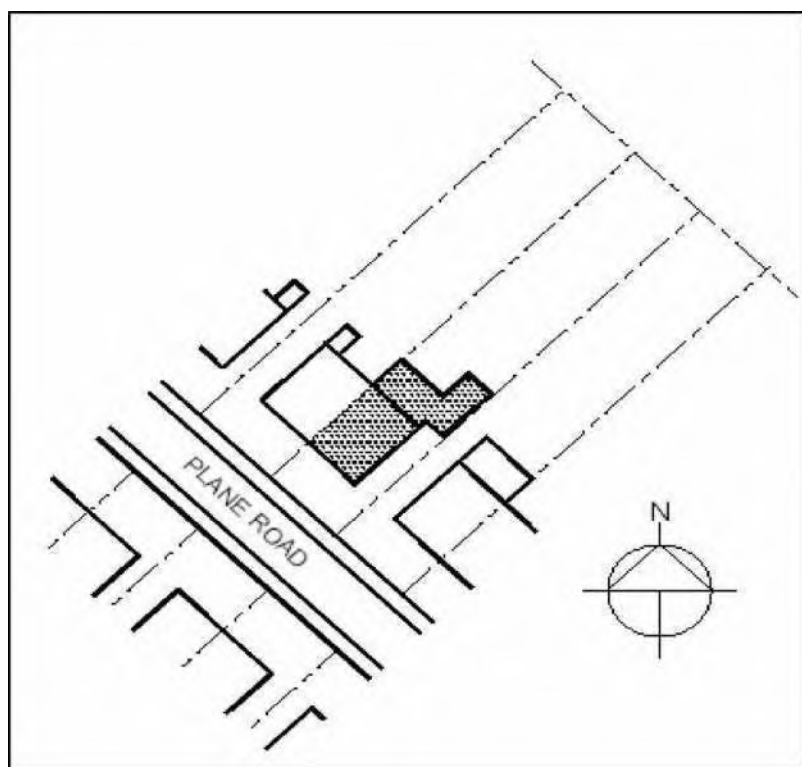
# Block plan

A site layout plan shows a detailed layout of the whole site and the relationship of the proposed works with the boundary of the property, nearby roads and neighbouring buildings.

Most applications should include an existing site layout plan and a proposed site layout plan.

Block plans should:

- Be to a scale of 1:200 or 1:500
- Show the proposed works shaded.
- Show the proposed building(s), all existing buildings and structures, the garden and other open areas.
- Include details of all trees, eg position, spread and species (eg oak, ash, etc).
- Show the whole of the boundary of the property, indicating the position and height of all boundary walls and fences.
- Show the position and size of existing and proposed hard surfaced areas eg parking spaces, turning areas, paths, etc.
- Identify any buildings to be demolished.
- Identify trees to be felled.
- Show all roads/footpaths/public rights of way adjoining the site.
- Show immediate adjacent properties and buildings.
- Show the direction of north.



Example shown not to scale

# Elevations

Elevation drawings show what a building will look like from the outside.

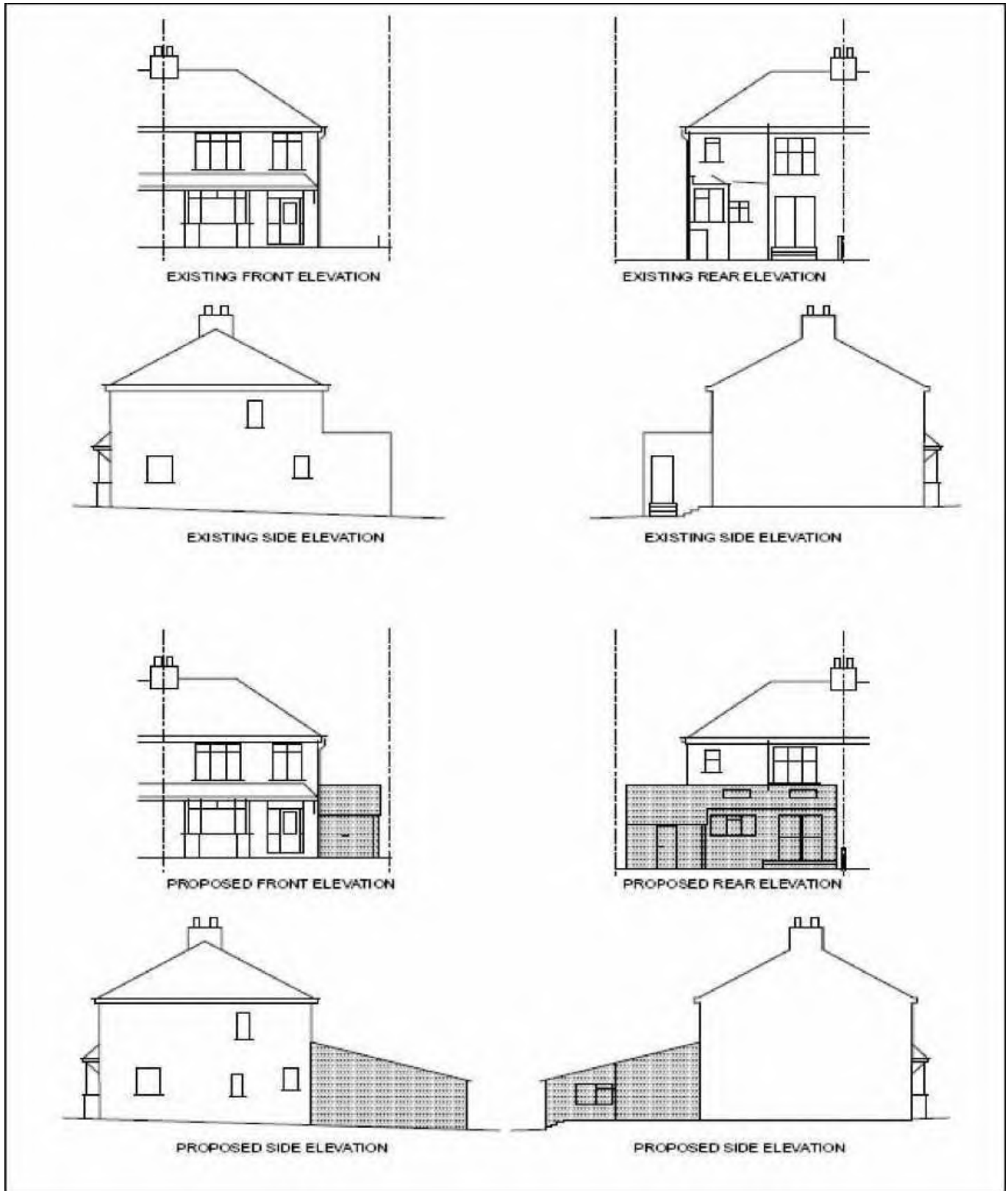
In most cases, two separate sets of elevation drawings will be required, "existing" elevations showing the building as it is now and "proposed" elevations showing how the building will look, after the works have been carried out.

Elevations should:

- Be to a scale of 1:100 or 1:50.
- Be clearly annotated existing and proposed.
- Show every elevation of the building, eg front, side(s) and rear and state the direction in which each elevation faces, eg rear (south).
- Show the whole of any existing building to be altered/extended so that the relationship of the new building/extension to the existing can be clearly seen.
- In some instances, show elevations of adjoining buildings
- In all instances, show the property boundary and parts of adjoining properties.
- Indicate the colour and type of finishing materials to be used (eg colour and type of brick, render, roof tiles etc).
- Identify building(s) to be demolished.
- **Details of external materials** - Please ensure that all materials are described in detail, including the colour of each material.

You need to describe what the roof covering, wall facing and window frames and doors will be made of and their design, eg "double roman concrete tiles", "roughcast render" etc. If the proposed materials will match exactly those of the existing dwelling, this may be stated on the plans.





Example shown not to scale



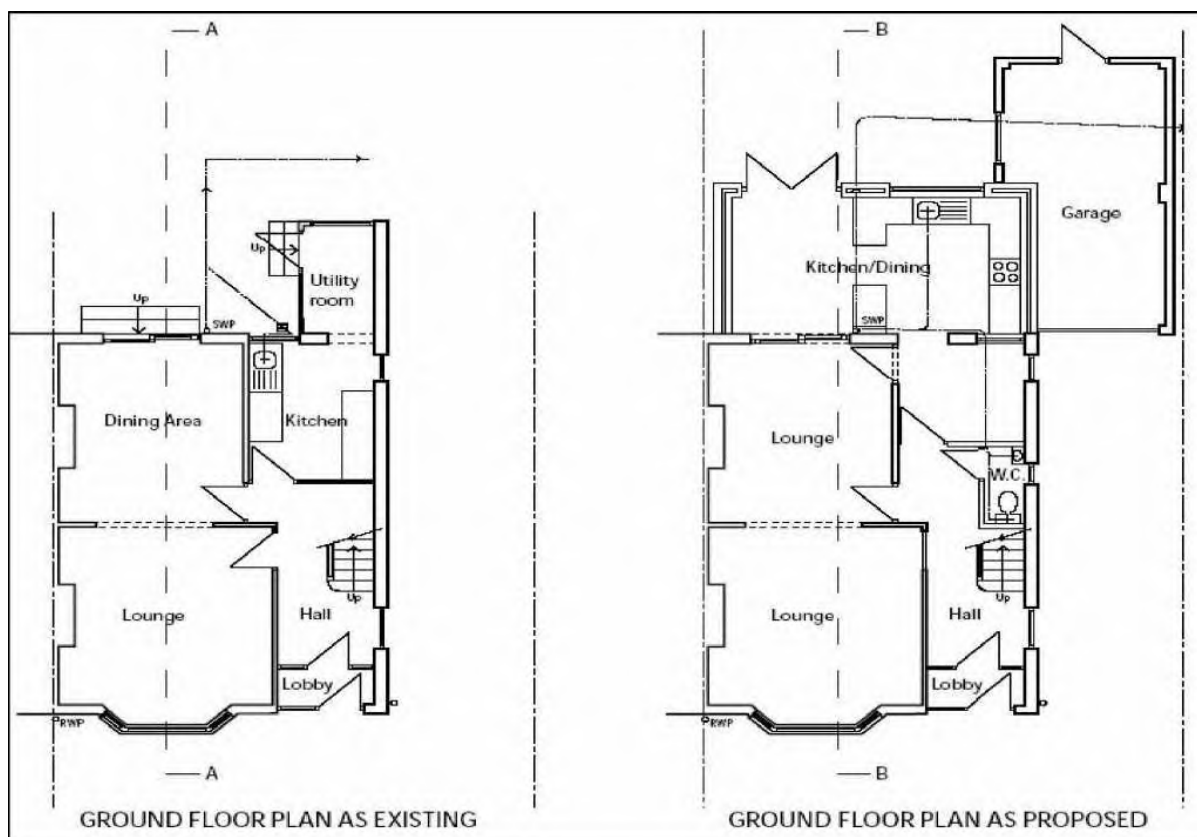
# Floor plans

Floor plans show the layout of the building.

In most cases, two separate sets of floor plans will be required: "existing" floor plans showing the building as it is now and "proposed" floor plans showing how the building will look, after the works have been carried out.

Floor plans should:

- Be to a scale of 1:100 or 1:50.
- Be clearly annotated existing and proposed.
- Show all floor levels (including roof levels) of the building(s) being constructed, altered or extended, in relation to the remainder of the building.
- Clearly state the use of each room and include position of windows, doors, walls and partitions.
- Clearly label each floor.
- Show the property boundary and parts of adjoining properties.
- State whether or not there will be any encroachment (eg foundations) onto any adjoining property if the proposed building is sited on a boundary.
- Identify anything to be demolished.
- Show the direction of north.



Example

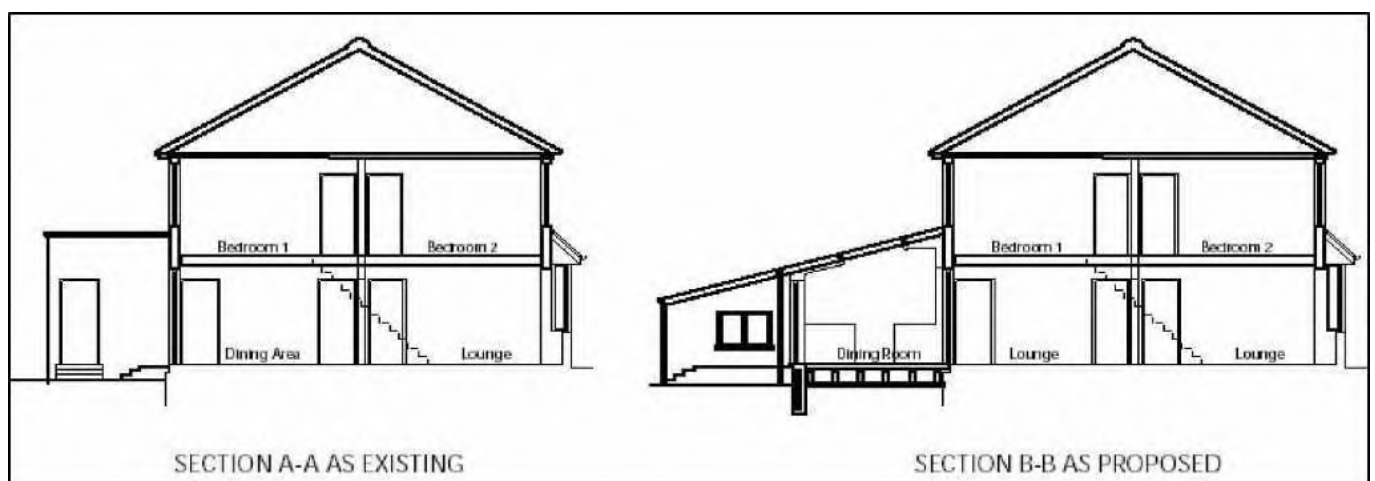
shown not to scale

# Existing and proposed site sections and finished floor/site levels – required in some cases

Such plans drawn at a scale of 1:50 or 1:100 should show a cross section(s) through the proposed building(s). In all cases where a proposal involves a change in ground levels, illustrative drawings should be submitted to show both existing and finished levels to include details of foundations and eaves and how encroachment onto adjoining land is to be avoided. Identify existing and proposed ground levels where significant cut and fill operations are proposed, or where slopes in excess of 1 in 20 exist ( or will exist).

Full information should also be submitted to demonstrate how proposed buildings relate to existing site levels and neighbouring development. Such plans should show existing site levels and finished floor levels (with levels related to a fixed datum point off site) and also show the proposals in relation to adjoining buildings. This will be required for all applications involving new buildings.

In the case of householder development, the levels may be evident from floor plans and elevations, but particularly in the case of sloping sites it will be necessary to show how proposals relate to existing ground levels or where ground levels outside the extension would be modified.



Example shown not to scale

# Street Scene or context plan – required in some cases

Usually required for works that will be visible from the road- especially new buildings or large side extensions that will be near to the boundary/neighbouring building, or where there is a notable difference in heights between the proposed works and neighbouring dwellings/buildings.

- these should be of a scale of 1:100 or 1:200
- as a minimum, accurately show the height and outline of neighbouring dwellings/buildings and the position and size of windows/doors
- accurately show any differences in levels

include written dimensions for gaps between buildings



Example shown not to scale

## Roof plans – required in some cases

These should be drawn to a scale of 1:50 or 1:100 and is used to show the shape of the roof particularly when development includes changes to its appearance and shape. Show the position of all ridges, valleys, dormer windows, roof lights and other features, such as chimneys or raised parapets. Details such as the roofing material and their location are typically specified on the roof plan.

# Landscaping

## Landscaping plans/details

If the proposal involves any works that would affect any trees within the application site, for example, the felling of a tree or the pruning or lopping of branches, or if the proposal involves any new planting, landscaping details and plans will be required.

Landscaping plans should accurately show:

- The position and spread of the existing trees.
- Details of any trees to be retained and measures to be taken to protect the trees.
- The species of the trees and details of their condition.
- An indication of which, if any, are to be felled.
- Details of the size, species and positions of trees to be planted and boundary treatments.

## Landscaping schemes

In many instances the submission of landscaping details can be a condition of the planning permission. In some cases specialist detail, for example a tree survey or detailed design may be required when submitting landscaping schemes. It is recommended that you discuss with officers the scope and detail required prior to submission.