

Planning, Transportation & Strategic Environment

Employment Land Survey

April 2011



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INTRODUCTION

The Employment Land Survey monitors the availability, distribution and loss of employment and non-residential land and buildings across South Gloucestershire.

For the purposes of this report, employment and non-residential includes the following main land uses (for clarity these categories are further subdivided in the tables below):

- **Class A1** = Shops
- **Class A2** = Financial and Professional Services
- **Class A3** = Restaurants and Cafes
- **Class A4** = Drinking Establishments
- **Class A5** = Hot Food Takeaways
- **Class B1** = Business and light industry
- **Class B2** = General Industrial
- **Class B8** = Storage and distribution
- **Class C1** = Hotels
- **Class D1** = Non Residential Institutions
- **Class D2** = Assembly and Leisure
- **Sui Generis** = Commercial uses not falling into any of the above categories

The Employment Land Survey provides a record of “Gains” and “Losses” (the latter monitored for the first time in the 2007 Survey) of employment and non-residential land and buildings categorised as either:

- a) New build on “Greenfield” or undeveloped sites; or
- b) Re-development or change of use of existing sites and buildings; or
- c) Extension of existing buildings and premises to create new office, industrial, warehousing or other developments.

The survey does not cover “small-scale” development and restricts analysis to sites of “0.4ha (Gross) and above” or “500 square metres (Gross) and above” across South Gloucestershire. All new development is monitored on sites safeguarded for “employment” (through South Gloucestershire Local Plan Policy E4) and sites identified for safeguarding for “economic development” uses (through South Gloucestershire’s emerging Core Strategy (Policy CS12).

The survey does not provide a record of vacant or available office, industrial, warehouse or other commercial sites/floor space.

The information contained in this document is derived from Development Control records, site surveys and other Council records. South Gloucestershire Council has made every effort to ensure the accuracy of the information in this document, but neither the Council nor its officers can accept any responsibility for any errors or omissions.

SITE CATEGORIES

The schedule Appendix 1 is comprised of three sections as follows:

Schedule A: Sites with Planning Permission:

This includes sites that at April 2011 had either outline, detailed and/or reserved matters planning permission.

Schedule B: Sites without Planning Permission:

This includes sites considered by the Planning, Transportation and Strategic Environment Directorate to be suitable for development which, at April 2011, were not subject to planning permission, but which have been identified for development by one or more of the following means:

- Committee resolution to grant planning permission subject to the completion of a Section 106 Agreement.
- South Gloucestershire Local Plan allocation.
- Approval of a site brief, or other supplementary guidance.
- Windfall sites considered to be suitable for development.

Schedule X: Completed Sites:

This includes sites fully completed since the last survey in April 2010

SCHEDULE FORMAT

In the schedules developments are presented by monitoring area and then grouped (if applicable) by safeguarded site (as identified in the Council's Core Strategy Policy CS12). The South Gloucestershire Local Plan Policy E4 reference is also included. For each site, information is presented giving the **site location, applicant or developer, proposal and application number**. Every site has a unique **reference number**.

Capacity and construction information is also recorded and monitored, comprising the **area not started, area under construction and area completed** together with the amount of **floorspace** either **not started, under construction and/or completed**. The table below provides a key to the referencing system used to denote capacity / construction details:

Capacity / Construction Details

Area Ha (NS)	Site area (in hectares), not started
Area Ha (UC)	Site area (in hectares), under construction
Area Ha (C)	Site area (in hectares), completed
F/s Sq.m (NS)	Floorspace (sq.m), not started
F/s Sq.m (UC)	Floorspace (sq.m), under construction
F/s Sq.m (C)	Floorspace (sq.m), completed

In addition to this information, recorded for each site are: the site's **previous use, development type and new use**. Any relevant **Notes** are also recorded and for completed sites (Schedule X) an estimate of **Job Gains/Losses** is shown.

TABLES OF STATISTICS FOR COMMITMENTS AND COMPLETIONS

The Tables below and at Appendix 2 contain summary statistics for commitments and completions. Statistics are presented according to the main use classes and the monitoring areas. The monitoring areas comprise the communities of the East Fringe of Bristol and the North Fringe of Bristol urban areas, the Rural Areas, Severnside, Thornbury, and Yate/Chipping Sodbury and are illustrated on the map below.

“Gains” are the amount of floorspace/hectarage gained from a particular development through new build, extensions, changes of use and conversions.

“Losses” are the amount of floorspace/hectarage lost from a particular development through new build, extensions, changes of use and conversions.

“Change” is the Net change in floorspace/hectarage as a result of new build, extensions, changes of use and conversions.

It is important to note that redevelopment of individual sites may span more than one monitoring year. Therefore the figures may show a large loss in one year but the gain of floorspace/hectarage (as a result of the redevelopment) would be shown in a subsequent year. For example, where an existing retail store is demolished to make way for a new larger store. The first year will record the loss of the store and the gain will not be recorded until the new store is complete in the following year(s).

NOTE ON TABLES

In using the tables below care should be taken with making direct comparisons between Hectares and Floorspace for the following reasons:

- Some development does not include any built floorspace (e.g. outdoor leisure facilities);
- Some development results in an increase in floorspace but create no new employment land (e.g. extensions to existing premises);
- Currently there is no available floorspace figure for the remaining land covered by the extant ICI planning permission within the area identified for safeguarding for “economic development” uses (Core Strategy Policy CS12 Site 46).

SUMMARY OF FINDINGS

Commitments

Commitments (Ha) by sector April 2011

		East Fringe	North Fringe	Rural Areas	Sevenside	Thornbury	Yate	South Glos. Total
Retail (A1 - A5)	Gain	0.56	0.57	0.00	0.00	0.00	5.56	6.69
	Loss	-0.66	0.00	0.00	0.00	0.00	0.00	-0.66
	Change	-0.10	0.57	0.00	0.00	0.00	5.56	6.03
Offices (B1a)	Gain	2.89	23.30	0.15	0.00	0.00	0.74	27.08
	Loss	-0.13	-2.06	0.00	0.00	0.00	0.00	-2.19
	Change	2.76	21.24	0.15	0.00	0.00	0.74	24.89
Industry and warehousing (B1b, B1c, B2, B8, Mixed B, SG Industrial)	Gain	56.58	22.02	5.18	207.06	0.00	1.09	291.93
	Loss	-5.84	-4.09	-0.23	0.00	0.00	-1.09	-11.25
	Change	50.74	17.93	4.95	207.06	0.00	0.00	280.68
Other (C1, C2, D1, D2, SG, Mixed)	Gain	8.05	36.60	56.36	0.00	0.00	0.00	101.01
	Loss	-3.49	-2.28	-1.34	0.00	-1.95	0.00	-9.06
	Change	4.56	34.32	55.02	0.00	-1.95	0.00	91.95
Total	Gain	68.08	82.49	61.69	207.06	0.00	7.39	426.71
	Loss	-10.12	-8.43	-1.57	0.00	-1.95	-1.09	-23.16
	Change	57.96	74.06	60.12	207.06	-1.95	6.30	403.55

Floorspace commitments (m²) by sector April 2011

		East Fringe	North Fringe	Rural Areas	Sevenside	Thornbury	Yate	South Glos. Total
Retail (A1 - A5)	Gain	2,514	13,166	0	0	0	14,403	30,083
	Loss	-2,173	0	0	0	0	0	-2,173
	Change	341	13,166	0	0	0	14,403	27,910
Offices (B1a)	Gain	2,117	139,933	466	0	0	4,192	146,708
	Loss	-801	-7,313	0	0	0	0	-8,114
	Change	1,316	132,620	466	0	0	4,192	138,594
Industry and warehousing (B1b, B1c, B2, B8, Mixed B, SG Industrial)	Gain	185,750	92,596	11,522	148,424	0	3,756	442,048
	Loss	-12,447	-13,895	-555	0	-714	-2,338	-29,949
	Change	173,303	78,701	10,967	148,424	-714	1,418	412,099
Other (C1, C2, D1, D2, SG, Mixed)	Gain	26,524	109,592	41,070	0	0	8,495	185,681
	Loss	-7,932	-840	-11,970	0	-767	-9,616	-31,125
	Change	18,592	108,752	29,100	0	-767	-1,121	154,556
Total	Gain	216,905	355,287	53,058	148,424	0	30,846	804,520
	Loss	-23,353	-22,048	-12,525	0	-1,481	-11,954	-71,361
	Change	193,552	333,239	40,533	148,424	-1,481	18,892	733,159

Retail

- The most significant committed development is the commencement of the new Tesco Extra store in Yate Town Centre (Site Reference 1404). The Tesco Extra store and three smaller retail units are due to be complete in October 2011, and the remaining four retail units will follow.
- Other commitments in part relate to retail developments at the retail warehouse parks at Cribbs Causeway and Longwell Green, the majority reflecting enhancement of the existing retail units.
- Retail enhancements of the Sainsbury store at Fox Den Road, Stoke Gifford (Site Reference 1438) is also reflected in the retail commitment figures.

Offices, Industry and Warehousing

- The majority of all employment commitments fall within this category with sizeable elements in the Sevenside area on the former ICI land, including Central Park and Portal West. In the East Fringe of Bristol at Emersons Green with the first major schemes of international significance nearing completion on the Bristol and Bath Science Park including the National Composites Centre. In the North Fringe of Bristol including the Airbus Aerospace Park at Filton, and Filton Northfield.

- Almost all the current office commitments are located in the North Fringe, the majority being at Aztec West and Wallscourt Farm, with smaller elements at Vantage Park and Cribbs Causeway.

Other

- The development of over 50 hectares at the Hollywood Tower Estate (Site Reference 1394) as an ecological park accounts for the majority of the commitments in this category.
- An aviation museum at Cribbs Causeway (Site Reference 1408) has outline planning permission.
- A replacement school at Yate International Academy (Site Reference 1453) is currently under construction.
- In view of the mix of uses planned on the former Rolls Royce East Works (Site Reference 1416) this site is also included within this category.

Completions

Completions (Ha) by sector 2010 to 2011

		East Fringe	North Fringe	Rural Areas	Sevenside	Thornbury	Yate	South Glos. Total
Retail (A1 - A5)	Gain	0.00	0.09	0.00	0.00	0.00	0.00	0.09
	Loss	0.00	-0.08	0.00	0.00	0.00	-5.57	-5.65
	Change	0.00	0.01	0.00	0.00	0.00	-5.57	-5.56
Offices (B1a)	Gain	0.00	1.31	0.00	0.00	0.00	0.01	1.32
	Loss	0.00	-0.01	0.00	0.00	0.00	0.00	-0.01
	Change	0.00	1.30	0.00	0.00	0.00	0.01	1.31
Industry and warehousing (B1b, B1c, B2, B8, Mixed B, SG industrial)	Gain	0.11	2.92	0.00	0.00	0.02	0.00	3.05
	Loss	-0.92	-0.46	-0.68	0.00	-0.02	0.00	-2.08
	Change	-0.81	2.46	-0.68	0.00	0.00	0.00	0.97
Other (C1, C2, D1, D2, SG, Mixed)	Gain	0.11	0.38	22.12	0.00	1.95	0.00	24.56
	Loss	-2.52	-15.38	0.00	0.00	0.00	0.00	-17.90
	Change	-2.41	-15.00	22.12	0.00	1.95	0.00	6.66
Total	Gain	0.22	4.70	22.12	0.00	1.97	0.01	29.02
	Loss	-3.44	-15.93	-0.68	0.00	-0.02	-5.57	-25.64
	Change	-3.22	-11.23	21.44	0.00	1.95	-5.56	3.38

Floorspace completions (m²) by sector 2010 to 2011

		East Fringe	North Fringe	Rural Areas	Sevenside	Thornbury	Yate	South Glos. Total
Retail (A1 - A5)	Gain	0	940	682	0	0	0	1,622
	Loss	0	-572	0	0	0	-4,639	-5,211
	Change	0	368	682	0	0	-4,639	-3,589
Offices (B1a)	Gain	0	7,973	0	504	0	79	8,556
	Loss	0	-65	0	0	0	0	-65
	Change	0	7,908	0	504	0	79	8,491
Industry and warehousing (B1b, B1c, B2, B8, Mixed B, SG Industrial)	Gain	916	6,622	0	744	196	0	8,478
	Loss	-2,974	-6,736	-436	0	-196	0	-10,342
	Change	-2,058	-114	-436	744	0	0	-1,864
Other (C1, C2, D1, D2, SG, Mixed)	Gain	3,503	10,006	1,299	0	2,979	0	17,787
	Loss	-2,858	-15,864	0	0	0	0	-18,722
	Change	645	-5,858	1,299	0	2,979	0	-935
Total	Gain	4,419	25,541	1,981	1,248	3,175	79	36,443
	Loss	-5,832	-23,237	-436	0	-196	-4,639	-34,340
	Change	-1,413	2,304	1,545	1,248	2,979	-4,560	2,103

Job gains and losses completed employment development by sector 2010 to 2011

		East Fringe	North Rural Areas Fringe	Sevenside	Thornbury	Yate	South Glos.	Total
Retail (A1 - A5)	Gain	0	23	0	0	0	0	23
	Loss	0	0	0	0	0	0	0
	Change	0	23	0	0	0	0	23
Offices (B1a)	Gain	0	620	0	0	0	7	627
	Loss	0	0	0	0	0	0	0
	Change	0	620	0	0	0	7	627
Industry and warehousing (B1b, B1c, B2, B8, Mixed B, SG Industrial)	Gain	10	266	0	22	7	3	308
	Loss	-104	0	-16	0	0	0	-120
	Change	-94	266	-16	22	7	3	188
Other (C1, C2, D1, D2, SG, Mixed)	Gain	13	55	0	0	0	0	68
	Loss	-29	0	0	0	0	0	-29
	Change	-16	55	0	0	0	0	39
Total	Gain	23	964	0	22	7	10	1026
	Loss	-133	0	-16	0	0	0	-149
	Change	-110	964	-16	22	7	10	877

Retail

- The most significant development in the past twelve months has been the commencement of the new Tesco Extra store in Yate Town Centre (Site Reference 1404) resulting in the loss of the existing store whilst construction of the new store takes place.
- Refurbishment works continue to take place at various retail warehouses at Cribbs Causeway.
- A new Harvester Pub/Restaurant at the Willow Brook Centre, Bradley Stoke (Site Reference 1466) opened in vacant retail premises.

Offices

- The majority of completed office development in the twelve months to April 2011 can be attributed to the completion of the last major office scheme at Parkway Business Park for the Ministry of Defence (Site Reference 1076j,k).
- This office development also accounts for the greatest number (approx. 600) of new jobs in the district in the past twelve months.

Industry and Warehousing

- There have been no new large scale completions within this category. All completions have been small scale changes within the existing employment areas.
- The loss of traditional small employment sites to residential development has continued within the east fringe urban area.
- Changes of use have also taken place on a number of former industrial and warehouse buildings to other more flexible mixed employment uses including D1 uses.
- Overall there has been a loss of employment floorspace for uses falling within this category.

Other

- A number of small to medium size new build/extension schemes account for some of the overall growth of floorspace in this category the majority however can be attributed to changes of use from industry and warehousing to more flexible uses.
- The past twelve months has also seen completion of a sizeable extension to a golf course in the district (Site Reference 1388) and the demolition of the former Filton High School following the opening of the new Abbeywood Community School the completion of which was recorded in 2009/2010 (Site Reference 1414).

Take up – Summary of development during the period 2006 to 2011

Annual take up by sector

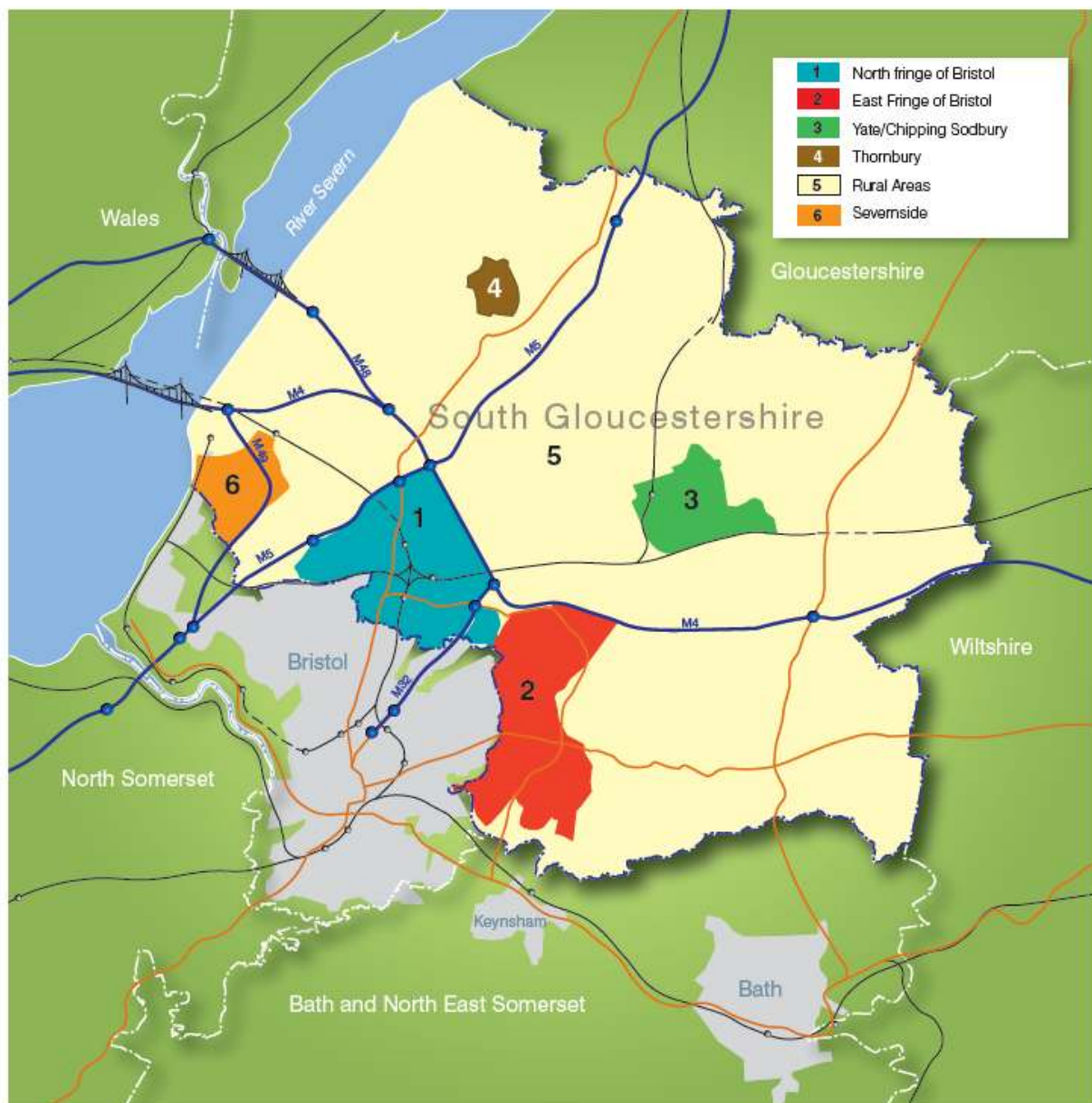
	Year	East Fringe	North Fringe	Rural Areas	Sevenside	Thornbury	Yate	South Glos. Total
Retail (Floorspace) (A1 - A5)	2006/2007	-6,749	8,978	7,347	0	0	726	10,302
	2007/2008	8,454	-736	0	0	0	0	7,718
	2008/2009	5,194	21,402	800	0	0	0	27,396
	2009/2010	3,013	0	-525	0	0	903	3,391
	2010/2011	0	368	682	0	0	-4,639	-3,589
	Total	9,912	30,012	8,304	0	0	-3,010	45,218
	Per annum	1,982	6,002	1,661	0	0	-602	9,044
Offices (Floorspace) (B1a)	2006/2007	2,597	834	2,167	0	0	0	5,598
	2007/2008	6,465	5,152	256	0	408	-709	11,572
	2008/2009	2,460	15,160	0	0	0	2,005	19,625
	2009/2010	955	-5,324	0	0	0	11,000	6,631
	2010/2011	0	7,908	0	504	0	79	8,491
	Total	12,477	23,730	2,423	504	408	12,375	51,917
	Per annum	2,495	4,746	485	101	82	2,475	10,383
Industry and warehousing (Floorspace) (B1b, B1c, B2, B8, Mixed B, SG Industrial)	2006/2007	-5,088	8,385	-7,796	-1,563	-3,216	850	-8,428
	2007/2008	-18,149	65,819	443	31,571	-408	0	79,276
	2008/2009	180	3,873	3,219	-9,857	0	466	-2,119
	2009/2010	-2,181	-152,945	1,888	74,990	222	-507	-78,533
	2010/2011	-2,058	-114	-436	744	0	0	-1,864
	Total	-27,296	-74,982	-2,682	95,885	-3,402	809	-11,668
	Per annum	-5,459	-14,996	-536	19,177	-680	162	-2,334
Other (Floorspace) (C1, C2, D1, D2, SG, Mixed)	2006/2007	506	-1,160	-71	0	1,347	1,333	1,955
	2007/2008	-25	4,965	295	0	-1,698	87	3,624
	2008/2009	1,958	1,020	-166	0	0	0	2,812
	2009/2010	7,938	14,377	3,854	0	0	4,255	30,424
	2010/2011	645	-5,858	1,299	0	2,979	0	-935
	Total	11,022	13,344	5,211	0	2,628	5,675	37,880
	Per annum	2,204	2,669	1,042	0	526	1,135	7,576
Total	2006/2007	-8,734	17,037	1,647	-1,563	-1,869	2,909	9,427
	2007/2008	-3,255	75,200	994	31,571	-1,698	-622	102,190
	2008/2009	9,792	41,455	3,853	-9,857	0	2,471	47,714
	2009/2010	9,725	-143,892	5,217	74,990	222	15,651	-38,087
	2010/2011	-1,413	2,304	1,545	1,248	2,979	-4,560	2,103
	Total	6,115	-7,896	13,256	96,389	-366	15,849	123,347
	Per annum	1,223	-1,579	2,651	19,278	-73	3,170	24,669

FURTHER INFORMATION

For further information on this report please contact:

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Monitoring Areas



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Appendix 1

Employment Land Survey: "A" Sites (April 2011) - East Fringe of Bristol

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site:	Bristol Water Depot Soundwell Road	Bristol Water Plc	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	Redevelop ment	Existing floorspace not known.
Site Ref:	Soundwell	Redevelopment for residential purposes	-1.83	0.00	0.00	0	0	0	B2 General Industrial		
3132	BS16 4QQ		<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>	Loss	
LP E4 Site:	364568 174671	PK04/1724/O	-1.83	0.00	0.00	0	0	0	C3 Dwellinghouses		
CS12 Site:	Unit A2 Aldermoor Way	Clinton Cards	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	Extension of existing	
Site Ref:	Longwell Green Kingswood BS30 7ES	Installation of mezzanine floor to provide additional retail area	0.05	0.00	0.00	197	0	0	A1 Shops		
3144			<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>	Gain	
LP E4 Site:	365401 172015	PK08/2371/F	0.00	0.00	0.00	110	0	0	A1 Shops		
CS12 Site:	Unit C Aldermoor Way	Next Plc	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	Extension of existing	
Site Ref:	Longwell Green Kingswood BS30 7DA	Installation of mezzanine floor to provide retail and storage area	0.11	0.00	0.00	1,018	0	0	A1 Shops		
3145			<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>	Gain	
LP E4 Site:	365427 172060	PK07/0253/F	0.00	0.00	0.00	546	0	0	A1 Shops		
CS12 Site:	Courtney Primary School Courtney Road	South Gloucestershire Council	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	Redevelop ment	Site is adjacent to recently completed new primary school
Site Ref:	Kingswood Bristol BS15 9RD	Erection of 15 place BESD special primary school	0.00	0.58	0.00		695	0	D1 Non-Residential Institutions		
3155			<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>	Gain	
LP E4 Site:	365520 173224	PK10/3098/R3F	0.00	0.00	0.00	0	695	0	D1 Non-Residential Institutions		

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site:	1	South Gloucestershire Council	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
Site Ref:	Mulberry Drive	Erection of BESD special secondary school	0.00	1.48	0.00	0	2,700	0	D1 Non-Residential Institutions		
3156	Kingswood Bristol BS15 4EA		Net Ha			Net F/s Sq.m			New Use:	Gain	
LP E4 Site:	365591 174165	PK09/5276/R3F	0.00	1.48	0.00	0	2,700	0	D1 Non-Residential Institutions		
CS12 Site:	Kingswood Health Centre Alma Road	Dr Kerfoot and Dr Wheatley	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
Site Ref:	Erection of health centre		-0.64	0.00	0.00	-1,902	0	0	D1 Non-Residential Institutions		
3159	Kingswood Bristol BS15 4EJ		Net Ha			Net F/s Sq.m			New Use:	Loss	
LP E4 Site:	365252 173895	PK09/5969/F	-0.64	0.00	0.00	-1,902	0	0	D1 Non-Residential Institutions		
CS12 Site:	Kingswood Health Centre Alma Road	Dr Kerfoot and Dr Wheatley	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
Site Ref:	Erection of health centre		0.00	0.64	0.00	0	1,323	0	D1 Non-Residential Institutions		
3159	Kingswood Bristol BS15 4EJ		Net Ha			Net F/s Sq.m			New Use:	Gain	
LP E4 Site:	365252 173895	PK09/5969/F	0.00	0.64	0.00	0	1,323	0	D1 Non-Residential Institutions		
CS12 Site:	Fiveways New Cheletenham Road	South Gloucestershire Council	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
Site Ref:	Demolition of existing buildings and erection of day centre and offices		0.00	0.30	0.00	0	1,097	0	B1		
3167	Kingswood Bristol BS15 4FR		Net Ha			Net F/s Sq.m			New Use:	Gain	
LP E4 Site:	365504 174570	PK09/0735/R3F	0.00	0.30	0.00	0	878	0	B1/D1		
CS12 Site:	Staple Hill Primary School Page Road	South Gloucestershire Council	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
Site Ref:	Erection of replacement primary school		-1.58	0.00	0.00	-2,088	0	0	D1 Non-Residential Institutions		
3171	Staple Hill Bristol BS16 4NE		Net Ha			Net F/s Sq.m			New Use:	Loss	
LP E4 Site:	364829 175842	PK09/5503/R3F	-1.58	0.00	0.00	-2,088	0	0	D1 Non-Residential Institutions		

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site:	Staple Hill Primary School Page Road	South Gloucestershire Council	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
Site Ref:	Staple Hill	Erection of replacement primary school	0.00	1.58	0.00	0	2,036	0	D1 Non-Residential Institutions		
3171	Bristol		Net Ha			Net F/s Sq.m			New Use:	Gain	
LP E4 Site:	BS16 4NE		0.00	1.58	0.00	0	2,036	0	D1 Non-Residential Institutions		
	364829 175842	PK09/5503/R3F									
CS12 Site:	Hanham Hall Hospital Whittucks Road	Barratt Homes	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
Site Ref:	Hanham	Erection of 195 dwellings and change of use to mixed uses	0.00	9.53	0.00	0	2,455	0	C2 Residential Institutions (b)		
3172	Bristol		Net Ha			Net F/s Sq.m			New Use:	Gain	
LP E4 Site:			0.00	0.50	0.00	0	2,455	0	Mixed A1, A3, B1a, D1, other		
	364030 171140	PK08/3230/F									
CS12 Site:	Kingswood Health Centre Alma Rd	South Gloucestershire Council	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
Site Ref:	Kingswood	Demolition of Health Centre and erection of children and young people locality hub	0.00	0.91	0.00	0	1,994	0	D1 Non-Residential Institutions		
3176			Net Ha			Net F/s Sq.m			New Use:	Gain	
LP E4 Site:			0.00	0.91	0.00	0	1,994	0	D1 Non-Residential Institutions		
	365352 173895	PK10/0259/R3F									
CS12 Site:	Kingswood Health Centre Alma Rd	South Gloucestershire Council	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
Site Ref:	Kingswood	Demolition of Health Centre and erection of children and young people locality hub	0.00	-0.91	0.00	0	-552	0	D1 Non-Residential Institutions		
3177			Net Ha			Net F/s Sq.m			New Use:	Loss	
LP E4 Site:			0.00	-0.91	0.00	0	-552	0	D1 Non-Residential Institutions		
	365352 173895	PK10/0259/R3F									
CS12 Site:	Bitton Sports and Social Club Bath Road	Bitton Sports and Social Club	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
Site Ref:	Bitton	Erection of replacement club house	0.00	-0.08	0.00	0	-4,200	0	D2 Assembly and Leisure		
3178			Net Ha			Net F/s Sq.m			New Use:	Loss	
LP E4 Site:			0.00	-0.08	0.00	0	-4,200	0	D2 Assembly and Leisure		
	367376 170037	PK11/0481/F									

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site:	Bitton Sports and Social Club Bath Road	Bitton Sports and Social Club	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
Site Ref:	Bitton	Erection of replacement club house	0.00	0.08	0.00	0	3,380	0	D2 Assembly and Leisure		
3178			Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:			0.00	0.08	0.00	0	3,380	0	D2 Assembly and Leisure	Gain	
	367376 170037	PK11/0481/F									
CS12 Site:	Barley Close Primary School Barley Close	South Gloucestershire Council	Gross Ha			Gross F/s Sq.m			Previous Use:	Extension of existing	
Site Ref:	Mangotsfield	Erection of single storey extension	0.01	0.00	0.00	61	0	0	D1 Non-Residential Institutions		
3179			Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:			0.00	0.00	0.00	61	0	0	D1 Non-Residential Institutions	Gain	
	366161 176730	PK10/1383/R3F									
CS12 Site:	Gladstone House Gladstone Drive	County Group Services	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelopment	
Site Ref:	Soundwell	Change of use from office to assisted living accomodation	-0.13	0.00	0.00	-801	0	0	B1 Business (a) as an office		
3180			Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:			-0.13	0.00	0.00	-801	0	0	C2 Residential Institutions	Loss	
	365083 175240	PK10/1269/F									
CS12 Site:	Alec Jarrett Ltd High Street	Alec Jarrett Ltd	Gross Ha			Gross F/s Sq.m			Previous Use:	Extension of existing	
Site Ref:	Oldland Common	Erection of extension to meet processing plant	1.29	0.00	0.00	513	0	0	Meat Processing		
3181			Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:			0.00	0.00	0.00	513	0	0	Meat Processing	Gain	
	368096 172169	PK10/1738/F									
CS12 Site:	Land between Avon Ring Rd and Folly Brook Rd	David Lloyd Leisure	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
Site Ref:	Emersons Green	Erection of health and fitness club	2.34	0.00	0.00	8,346	0	0	Agricultural		
3183			Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:			2.34	0.00	0.00	8,346	0	0	D2 Assembly and Leisure	Gain	
	3674250 176877	PK10/1325/REP									

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: Site Ref: 3184 LP E4 Site:	Crown Inn 82 Soundwell Rd Soundwell 364803 175346	Wellington Pub Company Change of use from public house to 9 flats PK10/1077/F	Gross Ha -0.10	0.00	0.00	Gross F/s Sq.m -315	0	0	Previous Use: A4 Drinking Establishments New Use: C3 Dwellinghouses	New Build Loss	
			Net Ha -0.10	0.00	0.00	Net F/s Sq.m -315	0	0			
CS12 Site: 13 Site Ref: 3039a/15 LP E4 Site: 11	Harlequin Office Park Folly Brook Road Emersons Green 366273 178611	Emersons Green Ltd Erection of office buildings P92/4320	Gross Ha 2.46	0.00	0.00	Gross F/s Sq.m 0	0	0	Previous Use: Agriculture New Use: B1 Business (a) as an office	New Build Gain	F/space not known. Supersedes previous planning permissions for Viceroy Gate sites 3039a/13, 14 & 15.
			Net Ha 2.46	0.00	0.00	Net F/s Sq.m 0	0	0			
CS12 Site: 13 Site Ref: 3039b/1 LP E4 Site:	Emersons Green Emersons Green 367150 178500	SWRDA and Others Science Park P95/4605	Gross Ha 20.79	0.00	0.00	Gross F/s Sq.m 62,851	0	0	Previous Use: Agricultural Land New Use: B1 Business (b) for R&D of products	New Build Gain	SGLP Policy M3 as part of a major mixed site. Figures shown equals approx. balance of land/floorspace remaining
			Net Ha 20.79	0.00	0.00	Net F/s Sq.m 48,463	0	0			
CS12 Site: 13 Site Ref: 3039b/1a LP E4 Site:	Science Park Emersons Green East 366925 178115	Quantum Property & SW Dev't Erection of Science Research Park buildings PK08/0737/RM	Gross Ha 0.00	1.88	0.00	Gross F/s Sq.m 0	6,575	0	Previous Use: Agriculture New Use: B1 Business (b) for R&D of products	New Build Gain	NMA covered by PK10/3257/NMA and PK08/0737/RM revises scheme
			Net Ha 0.00	1.88	0.00	Net F/s Sq.m 0	5,260	0			
CS12 Site: 13 Site Ref: 3039b/1b LP E4 Site:	Bristol & West Science Park South of Howsmoor Lane Emersons Green 366937 177899	University of Bristol & SWRDA Erection of buildings for B1a/B1b use PK10/0774/F	Gross Ha 0.00	2.33	0.00	Gross F/s Sq.m 0	7,877	0	Previous Use: Agricultural Land New Use: B1a and B1b	New Build Gain	SGLP Policy M3 as part of a major mixed site. Figures shown equals approx. balance of land/floorspace remaining
			Net Ha 0.00	2.33	0.00	Net F/s Sq.m 0	7,574	0			

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: 15 Site Ref: 3140 LP E4 Site: 35	Precision Profiles Ltd St Ivel Way Warmley Kingswood BS30 8TY 367188 172845	Mr R Avery Erection of storage building PK08/2899/F	<i>Gross Ha</i> 0.05	0.00	0.00	<i>Gross F/s Sq.m</i> 385	0	0	<i>Previous Use:</i> B8 Storage or Distribution <i>New Use:</i> B8 Storage or Distribution	Extension of existing Gain	
CS12 Site: 15 Site Ref: 3141 LP E4 Site: 35	Former Kleeneze Premises St Ivel Way Warmley Kingswood BS30 8TY 367343 172975	Power Electrics (Bristol) Ltd. Change of use from distribution depot B8 to sui generis PK07/3662/F	<i>Gross Ha</i> -2.77	0.00	0.00	<i>Gross F/s Sq.m</i> -9,522	0	0	<i>Previous Use:</i> B8 Storage or Distribution <i>New Use:</i> Sui Generis	Change of use Loss	
CS12 Site: 15 Site Ref: 3141 LP E4 Site: 35	Former Kleeneze Premises St Ivel Way Warmley Kingswood BS30 8TY 367343 172975	Power Electrics (Bristol) Ltd. Change of use from distribution depot B8 to sui generis PK07/3662/F	<i>Gross Ha</i> 2.77	0.00	0.00	<i>Gross F/s Sq.m</i> 9,522	0	0	<i>Previous Use:</i> B8 Storage or Distribution <i>New Use:</i> Sui Generis	Change of use Gain	
CS12 Site: 15 Site Ref: 3160 LP E4 Site: 35	Unit 1 St Ivel Way Warmley Bristol BS30 8WB 367093 172879	Threadneedle Pensions Ltd Change of use from office to mixed use office and storage PK09/5445/F	<i>Gross Ha</i> -0.48	0.00	0.00	<i>Gross F/s Sq.m</i> -2,581	0	0	<i>Previous Use:</i> B1 Business (a) as an office <i>New Use:</i> B1a/B8	Redevelop ment Loss	
CS12 Site: 15 Site Ref: 3160 LP E4 Site: 35	Unit 1 St Ivel Way Warmley Bristol BS30 8WB 367093 172879	Threadneedle Pensions Ltd Change of use from office to mixed use office and storage PK09/5445/F	<i>Gross Ha</i> 0.48	0.00	0.00	<i>Gross F/s Sq.m</i> 2,581	0	0	<i>Previous Use:</i> B1 Business (a) as an office <i>New Use:</i> B1a/B8	Redevelop ment Gain	

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: 15 Site Ref: 3182 LP E4 Site: 35	Industrial Premises St Ivel Way Warmley	Power Electronics (Bristol) Ltd Change of use from B2 to B8 PK10/0253/F	<i>Gross Ha</i> -0.76	0.00	0.00	<i>Gross F/s Sq.m</i> -3,134	0	0	<i>Previous Use:</i> B2 General Industrial	Redevelop ment	
			<i>Net Ha</i> -0.76	0.00	0.00	<i>Net F/s Sq.m</i> -2,248	0	0	<i>New Use:</i> B8 Storage or Distribution	Loss	
CS12 Site: 15 Site Ref: 3182 LP E4 Site: 35	Industrial Premises St Ivel Way Warmley	Power Electronics (Bristol) Ltd Change of use from B2 to B8 PK10/0253/F	<i>Gross Ha</i> 0.76	0.00	0.00	<i>Gross F/s Sq.m</i> 3,134	0	0	<i>Previous Use:</i> B2 General Industrial	Redevelop ment	
			<i>Net Ha</i> 0.76	0.00	0.00	<i>Net F/s Sq.m</i> 2,248	0	0	<i>New Use:</i> B8 Storage or Distribution	Gain	
CS12 Site: 20 Site Ref: 3162 LP E4 Site: 32	The Rotunda Centre Moravian Road Kingswood Bristol BS15 8NF	Freemantle Capital Demolition of existing buildings to facilitate the erection of mixed use residential and B1 PK10/1640/RM	<i>Gross Ha</i> -0.28	0.00	0.00	<i>Gross F/s Sq.m</i> 0	0	0	<i>Previous Use:</i> D2 Assembly and Leisure	Redevelop ment	Existing floorspace not known
			<i>Net Ha</i> -0.28	0.00	0.00	<i>Net F/s Sq.m</i> 0	0	0	<i>New Use:</i> B1a, B1b and C3	Loss	
CS12 Site: 20 Site Ref: 3162 LP E4 Site: 32	The Rotunda Centre Moravian Road Kingswood Bristol BS15 8NF	Freemantle Capital Demolition of existing buildings to facilitate the erection of mixed use residential and B1 PK10/1640/RM	<i>Gross Ha</i> 0.28	0.00	0.00	<i>Gross F/s Sq.m</i> 1,059	0	0	<i>Previous Use:</i> D1 Non-Residential Institutions	Redevelop ment	
			<i>Net Ha</i> 0.28	0.00	0.00	<i>Net F/s Sq.m</i> 1,059	0	0	<i>New Use:</i> B1a, B1c and C3	Gain	
CS12 Site: 23 Site Ref: 3030/1 pt LP E4 Site: 13	Land at Aldermoor Way Longwell Green Kingswood BS30 7TX	Longwell Properties Erection of trade park PK07/0782/RM	<i>Gross Ha</i> 1.75	0.00	0.00	<i>Gross F/s Sq.m</i> 5,036	0	0	<i>Previous Use:</i> Agricultural land	New Build	Subsequent planning permission (PK08/0430/F) for the change of use of Unit 9 to allow sales of floor and wall tiles.
			<i>Net Ha</i> 1.75	0.00	0.00	<i>Net F/s Sq.m</i> 4,029	0	0	<i>New Use:</i> B1c B2/B8 Industrial	Gain	

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: 24 Site Ref: 3030/1 pt LP E4 Site: 13	Land east of Aldermoor Way Longwell Green BS30 7TX 365452 171683	Henry Boot Dev's Erection of 2 office buildings PK07/3646/F	<i>Gross Ha</i> 0.43	0.00	0.00	<i>Gross F/s Sq.m</i> 2,646	0	0	<i>Previous Use:</i> Agriculture land	New Build	Planning Permission Pk11/0121/EXT for extension of time
			<i>Net Ha</i> 0.43	0.00	0.00	<i>Net F/s Sq.m</i> 2,117	0	0	<i>New Use:</i> B1 Business (a) as an office	Gain	
CS12 Site: 24 Site Ref: 3146 LP E4 Site: 13	Retail Units Aldermoor Way Longwell Green Kingswood BS30 7DA 365505 171900	Britten Investments Ltd Demolition of existing units and erection of 3 retail units PK08/1283/F	<i>Gross Ha</i> -0.56	0.00	0.00	<i>Gross F/s Sq.m</i> -2,050	0	0	<i>Previous Use:</i> A1 Shops	Redevelop ment	
			<i>Net Ha</i> -0.56	0.00	0.00	<i>Net F/s Sq.m</i> -1,858	0	0	<i>New Use:</i> A1 Shops	Loss	
CS12 Site: 24 Site Ref: 3146 LP E4 Site: 13	Retail Units Aldermoor Way Longwell Green Kingswood BS30 7DA 365505 171900	Britten Investments Ltd Demolition of existing units and erection of 3 retail units PK08/1283/F	<i>Gross Ha</i> 0.56	0.00	0.00	<i>Gross F/s Sq.m</i> 2,553	0	0	<i>Previous Use:</i> A1 Shops	Redevelop ment	
			<i>Net Ha</i> 0.56	0.00	0.00	<i>Net F/s Sq.m</i> 1,858	0	0	<i>New Use:</i> A1 Shops	Gain	
CS12 Site: 25 Site Ref: 3029g/1 LP E4 Site: 14	Land off Southway Drive Warmley BS30 5JE 367735 172619	J A Pye (Oxford) Ltd Erection of 41 residential/work units PK05/0928/RM	<i>Gross Ha</i> 0.54	0.00	0.37	<i>Gross F/s Sq.m</i> 0	0	0	<i>Previous Use:</i> Agricultural	New Build	Floorspace not known
			<i>Net Ha</i> 0.54	0.00	0.37	<i>Net F/s Sq.m</i> 0	0	0	<i>New Use:</i> B1 Not defined	Gain	
CS12 Site: 25 Site Ref: 3168 LP E4 Site: 14	Prompt Transport Services Bath Road North Common Bristol BS30 5LW 367862 172300	Mr M Williams Erection of extension to provide additional storage space PK08/3164/F	<i>Gross Ha</i> 0.06	0.00	0.00	<i>Gross F/s Sq.m</i> 620	0	0	<i>Previous Use:</i> B8 Storage or Distribution	Extension of existing	
			<i>Net Ha</i> 0.00	0.00	0.00	<i>Net F/s Sq.m</i> 620	0	0	<i>New Use:</i> B8 Storage or Distribution	Gain	

Appendix 1

Employment Land Survey: "A" Sites (April 2011) - North Fringe of Bristol

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site:	Land at Wheatfield Drive	Moonstone Therapy Centre	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	New Build	Supersedes previous planning permission PT01/2785/F. See also site ref. 1473
Site Ref:	Bradley Stoke	Erection of Multiple Sclerosis Therapy Treatment Centre	0.00	0.33	0.00	0	714	0	Agricultural land		
1296	BS32 0DB		<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>	Gain	
LP E4 Site:	361703 182461	PT09/1158/F	0.00	0.33	0.00	0	714	0	D1 Non-Residential Institutions		
CS12 Site:	Units 9 - 10 Cribbs Retail Park	Comet Group Ltd	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	Extension of existing	
Site Ref:	Cribbs Causeway	Installation of mezzanine floor	0.28	0.00	0.00	2,554	0	0	A1 Shops		
1302	BS34 5TX		<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>	Gain	
LP E4 Site:	358411 180915	PT08/0324/CLP	0.00	0.00	0.00	2,043	0	0	A1 Shops		
CS12 Site:	Unit 13 Cribbs Retail Park	Cribbs Mall Nominee Ltd	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	Extension of existing	
Site Ref:	Cribbs Causeway	Installation of mezzanine floor	0.22	0.00	0.00	2,110	0	0	A1 Shops		
1303	BS34 5TX		<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>	Gain	
LP E4 Site:	358378 180844	PT05/2478/CLP	0.00	0.00	0.00	1,688	0	0	A1 Shops		
CS12 Site:	Unit 5 Cribbs Retail Park	Prudential Property Investment	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	Extension of existing	
Site Ref:	Cribbs Causeway	Installation of mezzanine floor	0.14	0.00	0.00	1,322	0	0	A1 Shops		
1305	BS34 5TX		<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>	Gain	
LP E4 Site:	358455 180983	PT05/2458/CLP	0.00	0.00	0.00	1,058	0	0	A1 Shops		

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: Site Ref: 1374 LP E4 Site:	168 Gloucester Road Patchway BS34 5BB 360619 181435	Wingwest Ltd Demolition of existing dwelling to facilitate erection of office building PT07/2613/F	Gross Ha 0.00	0.17	0.00	Gross F/s Sq.m 0	503	0	Previous Use: C3 Dwellinghouses	Redevelop ment	
			Net Ha 0.00	0.17	0.00	Net F/s Sq.m 0	503	0	New Use: B1 Business (a) as an office	Gain	
CS12 Site: Site Ref: 1408 LP E4 Site:	Land to the West of Merlin Road Cribbs Causeway 358377 180522	J T Baylis Land Development Erection of aviation museum PT07/3015/O	Gross Ha 5.17	0.00	0.00	Gross F/s Sq.m 6,600	0	0	Previous Use: Agricultural	New Build	
			Net Ha 5.17	0.00	0.00	Net F/s Sq.m 3,600	0	0	New Use: D1 Non-Residential Institutions	Gain	
CS12 Site: Site Ref: 1432 LP E4 Site: 37	Land at Hunts Ground Road Stoke Gifford Bristol BS34 8HP 362956 179872	South Gloucestershire Council Use of land for park and ride car park PT09/5655/R3F	Gross Ha 0.00	1.56	0.00	Gross F/s Sq.m 0	0	0	Previous Use: Vacant land	New Build	
			Net Ha 0.00	1.56	0.00	Net F/s Sq.m 0	0	0	New Use: Park and Ride Site	Gain	
CS12 Site: Site Ref: 1438 LP E4 Site: 25	Sainsburys Store Fox Den Road Filton Bristol BS34 8SS 361710 178843	Sainsburys Supermarkets Erection of extension to existing store and installation of mezzanine PT09/0408/F	Gross Ha 2.77	0.00	0.00	Gross F/s Sq.m 4,463	0	0	Previous Use: A1 Shops	Extension of existing	
			Net Ha 0.00	0.00	0.00	Net F/s Sq.m 4,463	0	0	New Use: A1 Shops	Gain	
CS12 Site: Site Ref: 1440 LP E4 Site:	Stokes Medical Centre Braydon Avenue Little Stoke Bristol BS34 7BQ 361603 181331	Dr Boyd and Partners Erection of extension to create additional surgery accommodation and pharmacy PT09/0557/F	Gross Ha 0.39	0.00	0.00	Gross F/s Sq.m 1,056	0	0	Previous Use: D1 Non-Residential Institutions	Extension of existing	
			Net Ha 0.00	0.00	0.00	Net F/s Sq.m 1,056	0	0	New Use: A1/D1	Gain	

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site:	Bowland Green Primary Sch	South Gloucestershire Council	Gross Ha			Gross F/s Sq.m			Previous Use:	Extension	
Site Ref:	Ellicks Close	Infill extension over existing courtyard	0.06	0.00	0.00	275	0	0	D1 Non-Residential Institutions	of existing	
1442	Bradley Stoke		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	Bristol		0.00	0.00	0.00	275	0	0	D1 Non-Residential Institutions	Gain	
	BS32 0ES										
	362060 182603	PT09/0663/R3F									
CS12 Site:	Units 7-8 Cribbs Retail Pk	Cribbs Mall Nominee Ltd	Gross Ha			Gross F/s Sq.m			Previous Use:	Extension	At April 2011 survey date units being refurbished as Argos Extra Store with mezzanine floor
Site Ref:	Centaurus Road	Installation of additional mezzanine floorspace	0.00	0.27	0.00	0	1,812	0	A1 Shops	of existing	
1443	Cribbs Causeway		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	Bristol		0.00	0.00	0.00	0	1,812	0	A1 Shops	Gain	
	BS34 5TU										
	358726 181251	PT09/0393/F									
CS12 Site:	Patchway Library	South Gloucestershire Council	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop	
Site Ref:	Rodway Road	Demolition of existing library and pub and erection of locality hub, one stop shop, library, day centre and PO	0.00	0.48	0.00	0	2,776	0	A4/D1	ment	
1467	Patchway		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS34 5PE		0.00	0.48	0.00	0	2,776	0	A1/D1	Gain	
	360086 181535	PT10/0283/R3F									
CS12 Site:	Former Mushroom Farm	Dick Lovett Companies Ltd	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
Site Ref:	Cribbs Causeway	Erection of single storey building to form car repair centre	1.85	0.00	0.00	2,714	0	0	Agricultural		
1471			Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:			1.85	0.00	0.00	2,714	0	0	B2 General Industrial	Gain	
	357055 180291	PT10/1949/F									
CS12 Site:	Land at Wheatfield Drive	Perpetual Legacy Ltd	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	See alos site ref. 1296
Site Ref:	Bradley Stoke	Erection of Multiple Sclerosis respite centre	0.00	0.13	0.00	0	387	0	Agricultural land		
1473			Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS32 0DB		0.00	0.13	0.00	0	387	0	C2 Residential Institutions (c)	Gain	
	361626 182260	PT10/0302/F									

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site:	St Michaels Barns North Road	Trustees of Old School Rooms	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
Site Ref:	Stoke Gifford	Change of use to church and community centre	-0.24	0.00	0.00	-550	0	0	B1 Business (c) for any industrial		
1474	BS34 8PD		Net Ha			Net F/s Sq.m			New Use:	Loss	
LP E4 Site:	362392 179729	PT09/5735/F	-0.24	0.00	0.00	-550	0	0	D1 Non-Residential Institutions		
CS12 Site:	St Michaels Barns North Road	Trustees of Old School Rooms	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
Site Ref:	Stoke Gifford	Change of use to church and community centre	0.24	0.00	0.00	2,142	0	0	B1 Business (c) for any industrial		
1474	BS34 8PD		Net Ha			Net F/s Sq.m			New Use:	Gain	
LP E4 Site:	362392 179729	PT09/5735/F	0.24	0.00	0.00	2,142	0	0	D1 Non-Residential Institutions		
CS12 Site:	Charlton Hayes Northfield	Bovis Homes Ltd	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	Scheme proposes the erection of 5 retail units together with 35 flats
Site Ref:	Patchway	Erection of retail units	0.32	0.00	0.00	931	0	0	Airfield		
1477			Net Ha			Net F/s Sq.m			New Use:	Gain	
LP E4 Site:	360063 181479	PT10/3188/RM	0.32	0.00	0.00	931	0	0	A1 Shops		
CS12 Site:	Basement Units 13 and 110 The Mall	Next Group Plc	Gross Ha			Gross F/s Sq.m			Previous Use:	Extension of existing	
Site Ref:	Cribbs Causeway	Change of use of basement storage to mixed A1 and storage	-0.20	0.00	0.00	-1,040	0	0	B8 Storage or Distribution		
1478	BS34 5DG		Net Ha			Net F/s Sq.m			New Use:	Loss	
LP E4 Site:	358793 180862	PT10/0560/F	-0.20	0.00	0.00	-1,040	0	0	A1 Shops		
CS12 Site:	Basement Units 13 and 110 The Mall	Next Group Plc	Gross Ha			Gross F/s Sq.m			Previous Use:	Extension of existing	
Site Ref:	Cribbs Causeway	Change of use of basement storage to mixed A1 and storage	0.20	0.00	0.00	1,040	0	0	B8 Storage or Distribution		
1478	BS34 5DG		Net Ha			Net F/s Sq.m			New Use:	Gain	
LP E4 Site:	358793 180862	PT10/0560/F	0.20	0.00	0.00	1,040	0	0	A1 Shops		

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: 2 Site Ref: 1346 LP E4 Site: 5	Butterflies Day Nursery Great Park Road Bradley Stoke BS32 4RU 361317 183368	Mr J Hurkett-May Demolition of existing building to facilitate erection of 3 storey office building PT08/2566/F	<i>Gross Ha</i> -0.61	0.00	0.00	<i>Gross F/s Sq.m</i> -1,050	0	0	<i>Previous Use:</i> D1 Non-Residential Institutions <i>New Use:</i> B1 Business (a) as an office	Redevelop ment Loss	
CS12 Site: 2 Site Ref: 1346 LP E4 Site: 5	Butterflies Day Nursery Great Park Road Bradley Stoke BS32 4RU 361317 183368	Mr J Hurkett-May Demolition of existing building to facilitate erection of 3 storey office building PT08/2566/F	<i>Gross Ha</i> 0.61	0.00	0.00	<i>Gross F/s Sq.m</i> 4,930	0	0	<i>Previous Use:</i> D1 Non-Residential Institutions <i>New Use:</i> B1 Business (a) as an office	Redevelop ment Gain	
CS12 Site: 2 Site Ref: 1472 LP E4 Site: 5	Rowan House Brotherswood Court Bradley Stoke 361595 183518	Aviva Investors Global Service C of U of ground floor from offices to sandwich bar and café PT10/2714/F	<i>Gross Ha</i> -0.05	0.00	0.00	<i>Gross F/s Sq.m</i> -131	0	0	<i>Previous Use:</i> B1 Business (a) as an office <i>New Use:</i> A1/A3	Redevelop ment Loss	
CS12 Site: 2 Site Ref: 1472 LP E4 Site: 5	Rowan House Brotherswood Court Bradley Stoke 361595 183518	Aviva Investors Global Service C of U of ground floor from offices to sandwich bar and café PT10/2714/F	<i>Gross Ha</i> 0.05	0.00	0.00	<i>Gross F/s Sq.m</i> 131	0	0	<i>Previous Use:</i> B1 Business (a) as an office <i>New Use:</i> A1/A3	Redevelop ment Gain	
CS12 Site: 2 Site Ref: 1475 LP E4 Site: 5	350 The Quadrant Ash Ridge Road Bradley Stoke BS32 4QX 360916 173111	Bristol Accident Repair Centre Change of use from storage and fitting of automotive glass to accident repair centre PT10/1981/F	<i>Gross Ha</i> -0.16	0.00	0.00	<i>Gross F/s Sq.m</i> -906	0	0	<i>Previous Use:</i> B1 Business (c) for any industrial <i>New Use:</i> B2 General Industrial	Redevelop ment Loss	

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: 2 Site Ref: 1475 LP E4 Site: 5	350 The Quadrant Ash Ridge Road Bradley Stoke BS32 4QX 360916 173111	Bristol Accident Repair Centre Change of use from storage and fitting of automotive glass to accident repair centre PT10/1981/F	<i>Gross Ha</i> 0.16	0.00	0.00	<i>Gross F/s Sq.m</i> 906	0	0	<i>Previous Use:</i> B1 Business (c) for any industrial <i>New Use:</i> B2 General Industrial	Redevelop ment Gain	
CS12 Site: 3 Site Ref: 1029x/xa,x LP E4 Site: 4	Plots 900, 950, 960 Aztec West Almondsbury 359900 180540	Royal and Sun Alliance Erection of office buildings P98/1161	<i>Gross Ha</i> 4.34	0.00	2.17	<i>Gross F/s Sq.m</i> 25,443	0	12,647	<i>Previous Use:</i> Agricultural land <i>New Use:</i> B1 Business (a) as an office	New Build Gain	Approximate balance of site area and floorspace.
CS12 Site: 3 Site Ref: 1351 LP E4 Site: 4	1150 Park Avenue Aztec West Almondsbury BS32 4RX 360204 182916	G E Pensions Demolition of existing building to facilitate the erection of two office buildings PT07/2495/F	<i>Gross Ha</i> -1.32	0.00	0.00	<i>Gross F/s Sq.m</i> -6,043	0	0	<i>Previous Use:</i> B8 Storage or Distribution <i>New Use:</i> B1 Business (a) as an office	Redevelop ment Loss	PT10/0981/EXT extends time limit for implementation of permission
CS12 Site: 3 Site Ref: 1351 LP E4 Site: 4	1550 Park Avenue Aztec West Almondsbury BS32 4RX 360204 182916	G E Pensions Demolition of existing building to facilitate the erection of two office buildings PT07/2495/RM	<i>Gross Ha</i> 1.32	0.00	0.00	<i>Gross F/s Sq.m</i> 9,545	0	0	<i>Previous Use:</i> B8 Storage or Distribution <i>New Use:</i> B1 Business (a) as an office	Redevelop ment Gain	PT10/0981/EXT extends time limit for implementation of permission
CS12 Site: 3 Site Ref: 1445 LP E4 Site: 4	Plot 300 Aztec West Almondsbury Bristol BS32 4RG 360513 182628	Canada Life Ltd Demolition of existing building to facilitate erection of 2 office buildings PT09/6124/F	<i>Gross Ha</i> -0.75	0.00	0.00	<i>Gross F/s Sq.m</i> -2,226	0	0	<i>Previous Use:</i> B1 Business (a) as an office <i>New Use:</i> B1 Business (a) as an office	Redevelop ment Loss	

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: 3 Site Ref: 1445 LP E4 Site: 4	Plot 300 Aztec West Almondsbury Bristol BS32 4RG 360513 182628	Canada Life Ltd Demolition of existing building to facilitate erection of 2 office buildings PT09/6124/F	<i>Gross Ha</i> 0.75	0.00	0.00	<i>Gross F/s Sq.m</i> 4,984	0	0	<i>Previous Use:</i> B1 Business (a) as an office <i>New Use:</i> B1 Business (a) as an office	Redevelop ment Gain	
CS12 Site: 3 Site Ref: 1450 LP E4 Site: 4	Plot 1700 Aztec West Almondsbury Bristol BS32 4UA 360307 182983	Irish Life Investment Managers Construction of 4 buildings for office use PT09/1220/O	<i>Gross Ha</i> -2.17	0.00	0.00	<i>Gross F/s Sq.m</i> -6,565	0	0	<i>Previous Use:</i> B1a/B8 <i>New Use:</i> B1 Business (a) as an office	Redevelop ment Loss	
CS12 Site: 3 Site Ref: 1450 LP E4 Site: 4	Plot 1700 Aztec West Almondsbury Bristol BS32 4UA 360307 182983	Irish Life Investment Managers Construction of 4 buildings for office use PT09/1220/O	<i>Gross Ha</i> 2.17	0.00	0.00	<i>Gross F/s Sq.m</i> 15,060	0	0	<i>Previous Use:</i> B1a/B8 <i>New Use:</i> B1 Business (a) as an office	Redevelop ment Gain	
CS12 Site: 3 Site Ref: 1476 LP E4 Site: 4	1160 Park Avenue Aztec West 359832 182660	Edge Church Change of use from office to mixed use Church Centre and Day Nursery PT10/1969/F	<i>Gross Ha</i> 0.47	0.00	0.00	<i>Gross F/s Sq.m</i> 1,830	0	0	<i>Previous Use:</i> B1 Business (a) as an office <i>New Use:</i> D1 Non-Residential Institutions	Redevelop ment Gain	
CS12 Site: 3 Site Ref: 1476 LP E4 Site: 4	1160 Park Avenue Aztec West 359832 182660	Edge Church Change of use from office to mixed use Church Centre and Day Nursery PT10/1969/F	<i>Gross Ha</i> -0.47	0.00	0.00	<i>Gross F/s Sq.m</i> -1,830	0	0	<i>Previous Use:</i> B1 Business (a) as an office <i>New Use:</i> D1 Non-Residential Institutions	Redevelop ment Gain	

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: 3 Site Ref: 1479	710 and 715 Waterside Drive Aztec West	Invista Real Estate Investment Subdivision of 1 office unit to 2 units	-0.79	0.00	0.00	-3,126	0	0	Previous Use: B1 Business (a) as an office	Redevelop ment	
LP E4 Site: 4	360288 182367	PT11/0098/F	-0.79	0.00	0.00	-3,126	0	0	New Use: B1 Business (a) as an office	Loss	
CS12 Site: 3 Site Ref: 1479	710 and 715 Waterside Drive Aztec West	Invista Real Estate Investment Subdivision of 1 office unit to 2 units	0.79	0.00	0.00	2,802	0	0	Previous Use: B1 Business (a) as an office	Redevelop ment	
LP E4 Site: 4	360288 182367	PT11/0098/F	0.79	0.00	0.00	2,802	0	0	New Use: B1 Business (a) as an office	Gain	
CS12 Site: 4 Site Ref: 1411	Building 450 The Avenue Bristol Business Pk Stoke Gifford	BF Ventures Ltd Erection of 2 storey side extension to existing office	0.26	0.00	0.00	408	0	0	Previous Use: B1a	Extension of existing	
LP E4 Site: 24	362477 178373	PT08/2002/F	0.00	0.00	0.00	326	0	0	New Use: B1a	Gain	
CS12 Site: 5 Site Ref: 1118	Filton Northfield Filton	Bovis Homes Mixed residential and employment development	14.00	0.00	0.00	66,000	0	0	Previous Use: Airfield	New Build	Area shown equals approximate area of employment land
LP E4 Site: 1	359370 180560	PT03/3143/O	14.00	0.00	0.00	66,000	0	0	New Use: B1, B2, B8	Gain	
CS12 Site: 6 Site Ref: 1352	90 Gloucester Road Patchway BS34 6PZ	Avon and Somerset Constabul Erection of two storey police station and custody facility	1.38	0.00	0.00	4,000	0	0	Previous Use: B1/B2	Redevelop ment	
LP E4 Site: 1	360475 180981	PT10/0702/O	1.38	0.00	0.00	4,000	0	0	New Use: SG	Gain	

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: 6 Site Ref: 1416 LP E4 Site: 1	Rolls Royce Site Gloucester Road Filton Bristol BS34 7BQ 360825 180330	Prologis and Rolls Royce Redevelopment of site for mixed use B1a, B1c, B2, B8, C1 and SG PT07/2481/F	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i> B2 General Industrial	Redevelop ment	Site also covered by PT07/2478/O similar planning permission
			26.62	0.00	0.00	112,572	0	0			
			<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i> B1a, B1c, B2, B8, C1, SG	Gain	
			26.62	0.00	0.00	90,058	0	0			
CS12 Site: 7 Site Ref: 1277 LP E4 Site: 1	Airbus UK Golf Course Lane Filton 360067 179499	Airbus UK Redevelopment of site to provide new office campus PT05/0749/O	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i> B2 General Industrial	Redevelop ment	Approx. new floorspace on balance of former industrial land within the Airbus site covered by Outline PP.
			6.10	0.00	0.00	30,000	0	0			
			<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i> B1 Business (a) as an office	Gain	
			0.00	0.00	0.00	30,000	0	0			
CS12 Site: 7 Site Ref: 1277a LP E4 Site: 1	Former Rodney Works Gloucester Road North Filton BS34 7PH 360235 179663	Airbus UK Ltd Erection of new office campus, research and development and manufacturing buildings PT08/1373/RM	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i> B2 General Industrial	Redevelop ment	Supersedes planning permission PT06/0296/RM
			4.02	0.00	0.00	25,534	0	0			
			<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i> B1b/B2	Gain	
			4.02	0.00	0.00	20,427	0	0			
CS12 Site: 7 Site Ref: 1447 LP E4 Site: 1	Site 20 Golf Course Lane Filton Bristol BS34 7QW 359526 179351	MBDA UK Ltd Erection of three storey extension PT09/1342/F	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i> B1 Business (b) for R&D of products	Extension of existing	
			0.70	0.00	0.00	1,955	0	0			
			<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i> B1 Business (b) for R&D of products	Gain	
			0.00	0.00	0.00	1,955	0	0			
CS12 Site: 10 Site Ref: 1082bb LP E4 Site: 36	Land at Old Gloucester Road Bradley Stoke BS16 1RS 363312 180575	T K Phillips C of U of land for sale and storage of motor vehicles PT09/5664/F	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i> D2 Assembly and Leisure	Redevelop ment	Floorspace not known
			-1.67	0.00	0.00	0	0	0			
			<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i> Sui Generis	Loss	
			-1.67	0.00	0.00	0	0	0			

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: 10 Site Ref: 1082bb LP E4 Site: 36	Land at Old Gloucester Road Bradley Stoke BS16 1RS 363312 180575	T K Phillips C of U of land for sale and storage of motor vehicles PT09/5664/F	<i>Gross Ha</i> 1.67	0.00	0.00	<i>Gross F/s Sq.m</i> 0	0	0	<i>Previous Use:</i> D2 Assembly and Leisure <i>New Use:</i> Sui Generis	Redevelop ment Gain	Floorspace not known
CS12 Site: 10 Site Ref: 1082bf LP E4 Site: 36	Vantage Park Old Gloucester Road Bradley Stoke 363411 180495	Deeley Freed Ltd Erection of office building PT05/0638/RM	<i>Gross Ha</i> 0.28	0.00	0.00	<i>Gross F/s Sq.m</i> 930	0	0	<i>Previous Use:</i> Vacant former brickworks <i>New Use:</i> B1 Business (a) as an office	New Build Gain	
CS12 Site: 10 Site Ref: 1082bh LP E4 Site: 36	Unit K Vantage Park Old Gloucester Road Bradley Stoke 363471 180487	Deeley Freed Ltd Erection of office building PT06/1050/RM	<i>Gross Ha</i> 0.09	0.00	0.00	<i>Gross F/s Sq.m</i> 1,292	0	0	<i>Previous Use:</i> Vacant former brickworks <i>New Use:</i> B1 Business (a) as an office	New Build Gain	Previous planning permission PT05/0652/F
CS12 Site: 10 Site Ref: 1082bk LP E4 Site: 36	Vantage Park Old Gloucester Road Bradley Stoke 363453 180511	Deeley Freed Ltd Erection of office building PT05/0647/RM	<i>Gross Ha</i> 0.24	0.00	0.00	<i>Gross F/s Sq.m</i> 930	0	0	<i>Previous Use:</i> Vacant former brickworks <i>New Use:</i> B1 Business (a) as an office	New Build Gain	
CS12 Site: 10 Site Ref: 1082bl/bm LP E4 Site: 36	Vantage Park Old Gloucester Road Bradley Stoke 363459 180442	Deeley Freed Ltd Erection of office building PT09/0079/F	<i>Gross Ha</i> 0.29	0.00	0.00	<i>Gross F/s Sq.m</i> 2,342	0	0	<i>Previous Use:</i> Vacant former brickworks <i>New Use:</i> B1 Business (a) as an office	New Build Gain	Supersedes planning permissions PT05/0627/RM and PT05/0651/RM

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: 10 Site Ref: 1082bn LP E4 Site: 36	Vantage Park Old Gloucester Road Bradley Stoke 363426 180492	Deeley Freed Ltd Erection of office building PT05/0645/RM	<i>Gross Ha</i> 0.21	0.00	0.00	<i>Gross F/s Sq.m</i> 650	0	0	<i>Previous Use:</i> Vacant former brickworks <i>New Use:</i> B1 Business (a) as an office	New Build Gain	
CS12 Site: 47 Site Ref: 1032s LP E4 Site: 3	Land off Catbrain Lane Cribbs Causeway 357424 180722	PMH Portishead Ltd Erection of 5 x 2 and 3 storey office buildings PT07/3188/F	<i>Gross Ha</i> 1.14	0.00	0.00	<i>Gross F/s Sq.m</i> 6,950	0	0	<i>Previous Use:</i> Agricultural Land <i>New Use:</i> B1 Business (a) as an office	New Build Gain	Planning permission PT10/1001/F site ref. 1470 covers part of the original site therefore capacity and floorspace reduced.
CS12 Site: 47 Site Ref: 1270 LP E4 Site:	Land off Highwood Lane Cribbs Causeway 358015 181144	The Prudential Assurance Co Erection of warehouses and associated offices, trade counter and showroom PT05/0407/O	<i>Gross Ha</i> 0.32	0.00	0.00	<i>Gross F/s Sq.m</i> 744	0	0	<i>Previous Use:</i> Vacant Employment Land <i>New Use:</i> B8 Storage or Distribution	New Build Gain	Balance of Outline planning permission
CS12 Site: 47 Site Ref: 1470 LP E4 Site: 4	Premier Inn Catbrain Lane Cribbs Causeway 357319 180674	Whitbread Group Plc Erection of extension to hotel PT10/1001/F	<i>Gross Ha</i> 0.00	0.22	0.00	<i>Gross F/s Sq.m</i> 0	2,754	0	<i>Previous Use:</i> C1 Hotels <i>New Use:</i> C1 Hotels	Extension of existing Gain	
CS12 Site: 51 Site Ref: 1034c LP E4 Site: 26	UWE Site (Fmr Hewlett Packard Site) Stoke Gifford BS34 8QZ 361565 178177	Hewlett Packard/UWE Development of land for B1a office uses PT04/0685/RVC	<i>Gross Ha</i> 10.90	0.00	0.00	<i>Gross F/s Sq.m</i> 38,140	0	0	<i>Previous Use:</i> Agricultural Land <i>New Use:</i> B1 Business (a) as an office	New Build Gain	F/space details outlined in PT04/0686/RVC. Area equals approx. balance of undeveloped land within UWE campus at Apr'11.

Appendix 1

Employment Land Survey: "A" Sites (April 2011) - Rural Areas

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site:	Farm Building Henage Farm	Mr S W Sprackman	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	New Build	
Site Ref:	Falfield	Change of use of existing agricultural building to storage	0.07	0.00	0.00	660	0	0	Agricultural building		
1358	GL12 8DJ		<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>		
LP E4 Site:	368323 193631	PT05/1999/F	0.07	0.00	0.00	528	0	0	B8 Storage or Distribution	Gain	
CS12 Site:	Tolldown Farm Tolldown	R J Doubleday	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	New Build	
Site Ref:	Dyrham	Change of use of existing agricultural building to B8	0.12	0.00	0.00	850	0	0	Agricultural Barn		
1386	SN14 8HZ		<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>		
LP E4 Site:	375399 176914	PK07/1613/F	0.12	0.00	0.00	680	0	0	B8 Storage or Distribution	Gain	
CS12 Site:	The Park Bath Road	The Park	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	Redevelop ment	Application for extension of time PK10/2735/EXT granted consent 25/11/2010
Site Ref:	Wick	Demolition of existing golf course building and erection of golf clubhouse	0.00	0.12	0.00	0	508	0	D2 Assembly and Leisure		
1387	BS30 5RW		<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>		
LP E4 Site:	371362 171955	PK07/2446/F	0.00	0.12	0.00	0	406	0	D2 Assembly and Leisure	Gain	
CS12 Site:	Hollywood Tower Estate	Bristol Zoo	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	New Build	
Site Ref:	Cribbs Causeway	Erection of built facilities, fencing, enclosures and ancillary facilities	54.68	0.00	0.00	23,694	0	0	Agricultural		
1394	BS10 7TW		<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>		
LP E4 Site:	357431 181635	PT08/2900/F	54.68	0.00	0.00	23,694	0	0	D2 Assembly and Leisure	Gain	

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site:	Castle Motors Sodbury Road	Castle Motors	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
Site Ref:	Wickwar	Erection of replacement garage, car showroom and workshop	0.00	-0.22	0.00	0	-415	0	Sui Generis		
1405	GL12 8NE		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	372514 187983	PK08/2868/F	0.00	-0.22	0.00	0	-415	0	Sui Generis	Loss	
CS12 Site:	Castle Motors Sodbury Road	Castle Motors	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
Site Ref:	Wickwar	Erection of replacement garage, car showroom and workshop	0.00	0.22	0.00	0	561	0	Sui Generis		
1405	GL12 8NE		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	372514 187983	PK08/2868/F	0.00	0.22	0.00	0	561	0	Sui Generis	Gain	
CS12 Site:	Ashwicke Hall Ashwicke Road	SABIS International School	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	PK10/0181/EXT extends time limit for implementation of PK08/0716/F
Site Ref:	Marshfield	Demolition of existing school buildings and erection of new classrooms and dormitories	-1.34	0.00	0.00	-11,970	0	0	C2 Residential Institutions		
1418	SN14 8AG		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	379241 171901	PK08/0716/F	-1.34	0.00	0.00	-11,970	0	0	C2 Residential Institutions	Loss	
CS12 Site:	Ashwicke Hall Ashwicke Road	SABIS International School	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	PK10/0181/EXT extends time limit for implementation of PK08/0716/F
Site Ref:	Marshfield	Demolition of existing school buildings and erection of new classrooms and dormitories	1.34	0.00	0.00	14,337	0	0	C2 Residential Institutions		
1418	SN14 8AG		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	379241 171901	PK08/0716/F	1.34	0.00	0.00	14,337	0	0	C2 Residential Institutions	Gain	
CS12 Site:	Henfield Business Park Westerleigh Road	Henfield Property Mgmt	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
Site Ref:	Coalpit Heath	Demolition of portacabins and two industrial units and erection of two units	0.00	0.76	0.00	0	550	0	B2 General Industrial		
1422	BS36 2UP		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	367960 178876	PT08/0859/F	0.00	0.76	0.00	0	550	0	B2 General Industrial	Gain	

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site:	Pool Farm Oldbury Lane	Mr J W Nichols	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
Site Ref:	Thornbury	Change of use of agricultural building to B8 storage	0.79	0.00	0.00	557	0	0	Agricultural barn		
1423	Bristol		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS35 1RD		0.79	0.00	0.00	557	0	0	B8 Storage or Distribution	Gain	
	362642 192305	PT08/0621/F									
CS12 Site:	Morton Farm Old Gloucester Road	LPC Ltd	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
Site Ref:		Change of use of barns to B1, B2, B8	0.71	0.00	0.00	2,580	0	0	Agricultural		
1427	Thornbury		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS35 3UF		0.71	0.00	0.00	2,485	0	0	B1/B2/B8	Gain	
	366086 191567	PT09/5107/F									
CS12 Site:	84 High Street	Grove Care Ltd	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
Site Ref:	Winterbourne	Demolition of existing dwellings and erection of 40 bedroom care home for the elderly	0.00	0.22	0.00	0	1,953	0	Residential		
1434	Bristol		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS36 1RB		0.00	0.22	0.00	0	1,953	0	C2 Residential Institutions	Gain	
	365072 181079	PT09/5211/F									
CS12 Site:	Ashwicke Hall Ashwicke Road	SABIS International School	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
Site Ref:	Marshfield	Erection of 2 storey classroom block	0.02	0.00	0.00	680	0	0	School grounds		
1446	SN14 8AG		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:			0.00	0.00	0.00	680	0	0	C2 Residential Institutions	Gain	
	379139 171748	PK09/5088/F									
CS12 Site:	Briarland Gloucester Road	Mr S Pinker	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
Site Ref:	Rudgeway	Change of use of agricultural building to B1 offices	0.15	0.00	0.00	466	0	0	Agricultural building		
1462	BS35 3QH		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:			0.15	0.00	0.00	466	0	0	B1 Business (a) as an office	Gain	
	363142 187144	PT10/2834/EXT									

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: Site Ref: 1464 LP E4 Site:	Jarrocks Estate Westerleigh Road Westerleigh BS37 8QH 370036 179927	Euro Taxis Ltd Erection of vehicle maintenance and office building PT10/0577/F	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
			0.44	0.00	0.00	616	0	0	Vacant industrial land		
			Net Ha			Net F/s Sq.m			New Use:		
			0.44	0.00	0.00	616	0	0	B1a/B2	Gain	
CS12 Site: Site Ref: 3111 LP E4 Site:	The Nurseries Willsbridge BS30 6EJ 366734 169930	Mr and Mrs G Richards Conversion of 6 agricultural buildings to mixed use workshop and storage PK03/1604/F	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
			1.13	0.00	0.00	2,763	0	0	Agricultural buildings		
			Net Ha			Net F/s Sq.m			New Use:		
			1.13	0.00	0.00	2,210	0	0	B1c and B8	Gain	
CS12 Site: 40 Site Ref: 1370 LP E4 Site: 8	Arnolds Field Estate The Downs Wickwar GL12 8NP 372291 188585	A E Wilcox and Son Ltd Erection of building for vehicle servicing and MOT testing PK07/0297/F	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	Planning permission PK11/0083/F for minor extension to new building increasing floorspace by 60 square metres.
			0.00	0.25	0.00	0	500	0	Vacant land within existing site		
			Net Ha			Net F/s Sq.m			New Use:		
			0.00	0.25	0.00	0	412	0	B2 General Industrial	Gain	
CS12 Site: 40 Site Ref: 1463 LP E4 Site: 8	Industrial unit Arnolds Field Industrial Estate Wickwar 372218 188672	A E Wilcox and Son Ltd Erection of replacement building for general industrial use PK10/3026/F	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
			-0.01	0.00	0.00	-140	0	0	B2 General Industrial		
			Net Ha			Net F/s Sq.m			New Use:		
			-0.01	0.00	0.00	-140	0	0	B2 General Industrial	Loss	
CS12 Site: 40 Site Ref: 1463 LP E4 Site: 8	Industrial unit Arnolds Field Industrial Estate Wickwar 372218 188672	A E Wilcox and Son Ltd Erection of replacement building for general industrial use PK10/3026/F	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
			0.01	0.00	0.00	195	0	0	B2 General Industrial		
			Net Ha			Net F/s Sq.m			New Use:		
			0.01	0.00	0.00	195	0	0	B2 General Industrial	Gain	

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: 42	Units 22 to 27 Pucklechurch Trading Estate	Segro (Pucklechurch) Ltd	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	Redevelop ment	
Site Ref: 1419	Pucklechurch	Demolition of existing buildings and redevelopment of site to provide 6 units	0.00	0.68	0.00	0	3,410	0	B1c B2/B8		
LP E4 Site: 7	BS16 9QJ 369922 175995	PK08/2278/F	<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>	Gain	
			0.00	0.68	0.00	0	2,728	0	B1c B2/B8		

Appendix 1

Employment Land Survey: "A" Sites (April 2011) - Severnside

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: 46 Site Ref: 1001 LP E4 Site: 10	Land at Severnside 354300 182900	ICI Special and heavy industrial purposes SG4244	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	Area shown balance of ICI pp within CS Safeguarded Emp't Area. Assumes Net Area 40% of Gross. Jobs est. for period to 2031
			421.00	0.00	0.00	0	0	0	Agriculture		
			Net Ha			Net F/s Sq.m			New Use:		
			168.40	0.00	0.00	0	0	0	B1c B2/B8 Industrial - General	Gain	
CS12 Site: 46 Site Ref: 1001db LP E4 Site: 10	Plot 8020 G Park (Western Approach) Severn Beach Bristol 354650 183380	Gazeley UK Ltd Erection of distribution warehouse PT09/0461/RM	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
			6.21	0.00	0.00	23,676	0	0	Agriculture		
			Net Ha			Net F/s Sq.m			New Use:		
			6.21	0.00	0.00	23,372	0	0	B8 Storage or Distribution	Gain	
CS12 Site: 46 Site Ref: 1001gb LP E4 Site: 10	Plot 6030 G Park (Western Approach) Severn Beach BS35 4GG 355061 183390	Gazely UK Ltd Erection of building for B8 and/or B2 uses PT09/0751/O	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
			3.28	0.00	0.00	9,400	0	0	Agriculture		
			Net Ha			Net F/s Sq.m			New Use:		
			2.64	0.00	0.00	9,228	0	0	B2/B8	Gain	
CS12 Site: 46 Site Ref: 1424 LP E4 Site: 10	Willow Farm Severn Road Severnside BS10 7SE 354553 181243	Mr B Spiller Change of use of agricultural land to invessel composting facility PT08/2686/F	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	PT09/0928/RVC amends proposal to allow the amendment to the height of the building.
			4.29	0.00	0.00	13,744	0	0	Agricultural		
			Net Ha			Net F/s Sq.m			New Use:		
			4.29	0.00	0.00	13,744	0	0	Invessel compositing facility	Gain	

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: 46	Portal West Distribution Park	Santon	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	New Build	Approximate balance of land on plots 2, 3 and 4. Plot 1 complete. Balance of remaining floorspace estimated.
Site Ref: 1426	Pilning	Erection of distribution park	25.52	0.00	0.00	102,080	0	0	Agricultural		
LP E4 Site:			<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>		
	355620 184200	SG4244	25.52	0.00	0.00	102,080	0	0	B8 Storage or Distribution	Gain	

Appendix 1

Employment Land Survey: "A" Sites (April 2011) - Thornbury

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: Site Ref: 1401 LP E4 Site:	Gillingstool Primary School Gillingstool Thornbury BS35 2EG 364054 189898	South Gloucestershire Council Demolition of existing to facilitate the erection of new school building PT08/2452/R3F	Gross Ha -1.95	0.00	0.00	Gross F/s Sq.m -959	0	0	Previous Use: D1 Non-Residential Institutions New Use: D1 Non-Residential Institutions	Redevelop ment Loss	
CS12 Site: 38 Site Ref: 1311 LP E4 Site: 6	Units 22-27 Thornbury Industrial Estate Thornbury BS35 3UP 363872 189350	Wildbrook Investments Demolition of unit 27 erection of extension to form offices and external alterations to existing units PT11/0461/F	Gross Ha -0.45	0.00	0.00	Gross F/s Sq.m -2,257	0	0	Previous Use: B8 Storage or Distribution New Use: Mixed use B1, B2, B8 not defined	Redevelop ment Loss	Previous planning permission PT09/1117/F
CS12 Site: 38 Site Ref: 1311 LP E4 Site: 6	Units 22-27 Thornbury Industrial Estate Thornbury BS35 3UP 363872 189350	Wildbrook Investments Demolition of unit 27 erection of extension to form offices and external alterations to existing units PT11/0461/F	Gross Ha 0.45	0.00	0.00	Gross F/s Sq.m 1,512	0	0	Previous Use: B8 Storage or Distribution New Use: Mixed use B1, B2, B8 not defined	Redevelop ment Gain	Previous planning permission PT09/1117/F
CS12 Site: 38 Site Ref: 1459 LP E4 Site: 6	Unit C5 Ashville Park Thornbury 363958 189317	D A and J K Harrison Property Construction of additional mezzanine floorspace PT10/2088/F	Gross Ha 0.00	0.00	0.00	Gross F/s Sq.m 31	0	0	Previous Use: B1/B2/B8 New Use: B1/B2/B8	Extension of existing Gain	

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: 38 Site Ref: 1460	Unit 10 Brunel Way Thornbury	Arweack Ltd Change of use from plumbers merchants to exhaust maufacture and fitting	-0.03	0.00	0.00	-2,993	0	0	Previous Use: B8 Storage or Distribution	Redevelop ment	
LP E4 Site: 6	363808 189376	PT11/0451/F	-0.03	0.00	0.00	-2,993	0	0	New Use: B2 General Industrial	Loss	
CS12 Site: 38 Site Ref: 1460	Unit 10 Brunel Way Thornbury	Arweack Ltd Change of use from plumbers merchants to exhaust maufacture and fitting	0.03	0.00	0.00	2,993	0	0	Previous Use: B8 Storage or Distribution	Redevelop ment	
LP E4 Site: 6	363808 189376	PT11/0451/F	0.03	0.00	0.00	2,993	0	0	New Use: B2 General Industrial	Gain	

Appendix 1

Employment Land Survey: "A" Sites (April 2011) - Yate

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site:	East Walk	Tesco	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	Redevelop ment	Planning permission PK10/2866/RVC amends details of elevations and car parking.
Site Ref:	Yate Shopping Ctr	Erection of replacement Tesco store and a further 7 retail units	0.00	5.56	0.00	0	20,826	0	A1 Shops		
1404	Yate BS37 4AS		<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>		
LP E4 Site:			0.00	5.56	0.00	0	14,403	0	A1 Shops	Gain	
	371557 182438	PK07/3391/F									
CS12 Site:	Yate Int Academy Sundridge Park	South Gloucestershire Council	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	Redevelop ment	
Site Ref:	Yate	Redevelopment of site to include new school and games pitches	0.00	-6.61	0.00	0	-9,616	0	D1 Non-Residential Institutions		
1453	Bristol		<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>		
LP E4 Site:			0.00	-6.61	0.00	0	-9,616	0	D1 Non-Residential Institutions	Loss	
	371158 182011	PK10/2966/R3F									
CS12 Site:	Yate Int Academy Sundridge Park	South Gloucestershire Council	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	Redevelop ment	
Site Ref:	Yate	Redevelopment of site to include new school and games pitches	0.00	6.61	0.00	0	8,495	0	D1 Non-Residential Institutions		
1453	Bristol		<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>		
LP E4 Site:			0.00	6.61	0.00	0	8,495	0	D1 Non-Residential Institutions	Gain	
	371158 182011	PK10/2966/R3F									
CS12 Site:	Land at Broad Lane	James and Co.	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	New Build	
Site Ref:	Yate	Erection of 2 x 2 storey office buildings	0.74	0.00	0.00	3,175	0	0	Agricultural		
1455	Bristol		<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>		
LP E4 Site:			0.74	0.00	0.00	3,175	0	0	B1 Business (a) as an office	Gain	
	369995 183496	PK10/0006/F									

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: 31 Site Ref: 1452 LP E4 Site: 17	Power Systems Badminton Road Trading Est Yate Bristol 369941 182267	Power Systems UK Ltd Erection of first floor extension to provide additional office space PT11/0027/F	Gross Ha			Gross F/s Sq.m			Previous Use: B1a/B1c	Extension of existing	
			0.00	0.00	0.00	1,017	0	0			
			Net Ha			Net F/s Sq.m			New Use: B1 Business (a) as an office	Gain	
			0.00	0.00	0.00	1,017	0	0			
CS12 Site: 34 Site Ref: 1190 LP E4 Site: 18	Armstrong Way GWBP Yate BS37 5NG 369665 183270	W H Bence (Coachworks) Ltd Demolition of existing storage building and erection of 2 workshops PK02/3299/F	Gross Ha			Gross F/s Sq.m			Previous Use: B8 Storage or Distribution	Redevelop ment	Building A complete and building B not started. Floorspace not known. PK10/3559/F amends design of Building B.
			-0.45	0.00	0.00	-50	0	0			
			Net Ha			Net F/s Sq.m			New Use: B1 Business (c) for any industrial	Loss	
			-0.45	0.00	0.00	-50	0	0			
CS12 Site: 34 Site Ref: 1190 LP E4 Site: 18	Armstrong Way GWBP Yate BS37 5NG 369665 183270	W H Bence (Coachworks) Ltd Demolition of existing storage building and erection of 2 workshops PK02/3299/F	Gross Ha			Gross F/s Sq.m			Previous Use: B8 Storage or Distribution	Redevelop ment	Building A complete and building B not started. Floorspace not known. PK10/3559/F amends design of Building B.
			0.45	0.00	0.00	110	0	220			
			Net Ha			Net F/s Sq.m			New Use: B1 Business (c) for any industrial	Gain	
			0.45	0.00	0.00	110	0	220			
CS12 Site: 34 Site Ref: 1395 LP E4 Site: 18	E R Hemmings Building Dean Road GWBP Yate BS37 5NR 370085 182992	Mr R Wills Erection of two storey building and link extension to form B8 storage PK08/2356/F	Gross Ha			Gross F/s Sq.m			Previous Use: B8 Storage or Distribution	Extension of existing	
			0.38	0.00	0.00	476	0	0			
			Net Ha			Net F/s Sq.m			New Use: B8 Storage or Distribution	Gain	
			0.00	0.00	0.00	438	0	0			
CS12 Site: 37 Site Ref: 1397 LP E4 Site: 17	Unit 5 Badminton Road Yate BS37 5NS 369777 182421	Gent Transport Erection of detached building to provide storage PT09/0140/F	Gross Ha			Gross F/s Sq.m			Previous Use: B8 Storage or Distribution	New Build	
			0.05	0.00	0.00	700	0	0			
			Net Ha			Net F/s Sq.m			New Use: B8 Storage or Distribution	Gain	
			0.00	0.00	0.00	700	0	0			

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: 58	Unit U Lawrence Drive	Pulse Roll label Products Ltd	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	Redevelop ment	
Site Ref: 1457	Yate Bristol	Change of use of building from B8 to B2	-0.64	0.00	0.00	-2,288	0	0	B8 Storage or Distribution		
LP E4 Site: 15	BS37 5PG 369921 182908	PK10/3447/F	<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>	Loss	
			-0.64	0.00	0.00	-2,288	0	0	B2 General Industrial		
CS12 Site: 58	Unit U Lawrence Drive	Pulse Roll label Products Ltd	<i>Gross Ha</i>			<i>Gross F/s Sq.m</i>			<i>Previous Use:</i>	Redevelop ment	
Site Ref: 1457	Yate Bristol	Change of use of building from B8 to B2	0.64	0.00	0.00	2,288	0	0	B8 Storage or Distribution		
LP E4 Site: 15	BS37 5PG 369921 182908	PK10/3447/F	<i>Net Ha</i>			<i>Net F/s Sq.m</i>			<i>New Use:</i>	Gain	
			0.64	0.00	0.00	2,288	0	0	B2 General Industrial		

Appendix 1

Employment and Non-Residential Land Availability Survey: "B" Sites (April 2011) - East Fringe of Bristol

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes
CS12 Site: Site Ref: 3185 LP E4 Site:	Land at 114 North St Downend 365119 176626	Miramar Holdings Ltd Demolition of dwelling and erection of 49 bed care home PK10/3398/F	Gross Ha			Gross F/s Sq.m			Previous Use: C3 Dwellinghouses	New Build	
			0.21	0.00	0.00	2,656	0	0			
			Net Ha			Net F/s Sq.m			New Use: C2 Nursing home	Gain	
			0.21	0.00	0.00	2,656	0	0			
CS12 Site: 13 Site Ref: 3039b/2 LP E4 Site:	Emersons Green East Emersons Green 367210 178100	Don't know Mixed employment development	Gross Ha			Gross F/s Sq.m			Previous Use: Agricultural Land	New Build	South Glos. Local Plan Policy M3 as part of major mixed dev't site. Floorspace estimated at approx. 40% site ratio.
			20.00	0.00	0.00	85,000	0	0			
			Net Ha			Net F/s Sq.m			New Use: B1c B2/B8	Gain	
			20.00	0.00	0.00	85,000	0	0			
CS12 Site: 13 Site Ref: 3039b/3 LP E4 Site:	Emerson Green East Emersons Green 367210 178100	Don't know Mixed employment development	Gross Ha			Gross F/s Sq.m			Previous Use: Agricultural land	New Build	South Glos. Local Plan Policy M3 as part of a major mixed development site. Floorspace estimated at approx. 40% site ratio.
			5.00	0.00	0.00	20,400	0	0			
			Net Ha			Net F/s Sq.m			New Use: B1c B2/B8	Gain	
			5.00	0.00	0.00	20,400	0	0			

Appendix 1

Employment Land Survey: "X" Schedule of Completed Employment Sites (April 2011) - East Fringe of Bristol

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type	Notes
										Impact	Est. Job Gains/Losses
CS12 Site:	Sir Bernard Lovell School North Street	South Glos. Council	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
Site Ref:	Oldland Common	Erection of new sports hall. Construction of all weather football pitch and tennis courts	0.00	0.00	4.48	0	0	1,776	D1 Non-Residential Institutions		
3119			Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS30 8TS		0.00	0.00	0.00	0	0	1,421	D1 Non-Residential Institutions	Gain	0 Jobs
	367398 171605	PK05/3624/R3F									
CS12 Site:	Wilson & Sons Engineering Morley Road	Newland Homes Ltd	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
Site Ref:	Staple Hill	Demolition of existing factory and erection of 43 dwellings	0.00	0.00	-0.40	0	0	-2,330	B1 Business (c)		
3127			Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS16 4QT		0.00	0.00	-0.40	0	0	-1,864	C3 Dwellinghouses	Loss	-69 Jobs
	364914 175413	PK07/2726/F									
CS12 Site:	John Cabot CTC Woodside Road	John Cabot CTC	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
Site Ref:	Kingswood	Erection of two storey detached school block	0.00	0.00	0.19	0	0	810	D1 Non-Residential Institutions		
3135			Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS15 8BD		0.00	0.00	0.00	0	0	648	D1 Non-Residential Institutions	Gain	5 Jobs
	364279 173310	PK07/0152/F									
CS12 Site:	Playing Fields Pomphrey Hill	South Gloucestershire Council	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
Site Ref:	Mangotsfield	Erection of 2 storey sports pavillion	0.00	0.00	2.12	0	0	792	D2 Assembly and Leisure		
3147			Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	Kingswood		0.00	0.00	0.00	0	0	792	D2 Assembly and Leisure	Gain	3 Jobs
	366937 175874	PK08/3200/R3F									

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes Est. Job Gains/Losses
CS12 Site: Site Ref: 3148 LP E4 Site:	Courtney Primary School Courtney Road Kingswood BS15 9RD 365607 173221	South Gloucestershire Council Erection of replacement primary school PK08/2561/R3F	Gross Ha 0.00	0.00	-2.41	Gross F/s Sq.m 0	0	-2,770	Previous Use: D1 Non-Residential Institutions New Use: D1 Non-Residential Institutions	Redevelop ment Loss	-24 Jobs
CS12 Site: Site Ref: 3152 LP E4 Site:	Land at Power Electrics Site Morley Road Staple Hill Kingswood BS16 4QT 365020 175344	Power Electrics Demolition of existing factory and erection of 14 dwellings PK10/2817/RM	Gross Ha -0.41	0.00	-0.41	Gross F/s Sq.m 0	0	-1,200	Previous Use: B2 General Industrial New Use: C3 Dwellinghouses	Redevelop ment Loss	-35 Jobs
CS12 Site: 13 Site Ref: 3175 LP E4 Site: 11	Unit 3 Harlequin Office Park Emersons Green 366507 178586	Avon and Somerset Police Erection of storage building with garage PK10/1756/F	Gross Ha 0.00	0.00	0.48	Gross F/s Sq.m 0	0	128	Previous Use: B1 Business (a) as an office New Use: B8 Storage or Distribution	New Build Gain	0 Jobs
CS12 Site: 15 Site Ref: 3158 LP E4 Site: 35	J C Engineering Ltd St Ivel Way Warmley Bristol BS30 8TY 367280 172869	Precision Profile Erection of engineering workshop/storage unit PK10/0013/F	Gross Ha 0.00	0.00	0.16	Gross F/s Sq.m 0	0	638	Previous Use: B1 Business (c) New Use: B1 Business (c)	Extension of existing Gain	10 Jobs
CS12 Site: 15 Site Ref: 3173 LP E4 Site: 35	Unt A Tower Lane Warmley 366867 172714	Mr Johal Change of use from childrens soft play to childrens soft play and café/restaurant PK10/3209/F	Gross Ha 0.00	0.00	-0.11	Gross F/s Sq.m 0	0	-642	Previous Use: D2 Assembly and Leisure New Use: D2/A3	Redevelop ment Loss	-5 Jobs

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes Est. Job Gains/Losses
CS12 Site: 15 Site Ref: 3173 LP E4 Site: 35	Unit A Tower Lane Warmley	Mr Johal Change of use from childrens soft play to childrens soft play and café/restaurant	<i>Gross Ha</i> 0.00	<i>Gross Ha</i> 0.00	<i>Gross Ha</i> 0.11	<i>Gross F/s Sq.m</i> 0	<i>Gross F/s Sq.m</i> 0	<i>Gross F/s Sq.m</i> 642	<i>Previous Use:</i> D2 Assembly and Leisure <i>New Use:</i> D2/A3	Redevelop ment Gain	 5 Jobs
CS12 Site: 19 Site Ref: 3174 LP E4 Site: 34	Unit 3 Bridge Road Industrial Estate Kingswood	Vans 2 Go Change of use from storage to van hire garage	<i>Gross Ha</i> 0.00	<i>Gross Ha</i> 0.00	<i>Gross Ha</i> -0.11	<i>Gross F/s Sq.m</i> 0	<i>Gross F/s Sq.m</i> 0	<i>Gross F/s Sq.m</i> -150	<i>Previous Use:</i> B8 Storage or Distribution <i>New Use:</i> Sui Generis	Redevelop ment Loss	 0 Jobs
CS12 Site: 19 Site Ref: 3174 LP E4 Site: 34	Unit 3 Bridge Road Industrial Estate Kingswood	Vans 2 Go Change of use from storage to van hire garage	<i>Gross Ha</i> 0.00	<i>Gross Ha</i> 0.00	<i>Gross Ha</i> 0.11	<i>Gross F/s Sq.m</i> 0	<i>Gross F/s Sq.m</i> 0	<i>Gross F/s Sq.m</i> 150	<i>Previous Use:</i> B8 Storage or Distribution <i>New Use:</i> Sui Generis	Redevelop ment Gain	 0 Jobs

Appendix 1

Employment Land Survey: "X" Schedule of Completed Employment Sites (April 2011) - North Fringe of Bristol

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type	Notes
										Impact	Est. Job Gains/Losses
CS12 Site:	B/Stoke Community School Fiddlers Wood Lane	South Gloucestershire Council	Gross Ha			Gross F/s Sq.m			Previous Use:	Extension of existing	
Site Ref:	Bradley Stoke	Erection of two storey sixth form centre, dance studio and gym	0.00	0.00	0.29	0	0	1,831	D1 Non-Residential Institutions		
1409	Bristol		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS32 9BS		0.00	0.00	0.00	0	0	1,465	D1 Non-Residential Institutions	Gain	32 Jobs
	362437 181881	PT08/2006/R3F									
CS12 Site:	Bradley Stoke Surgery Brook Way	Dr E Todd	Gross Ha			Gross F/s Sq.m			Previous Use:	Extension of existing	
Site Ref:	Bradley Stoke	Erection of extension to provide additional surgery accommodation	0.00	0.00	0.10	0	0	739	D1 Non-Residential Institutions		
1410	Bristol		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS32 9DS		0.00	0.00	0.00	0	0	591	D1 Non-Residential Institutions	Gain	8 Jobs
	361218 182525	PT08/1143/F									
CS12 Site:	Filton High School New Road	South Gloucestershire Council	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	Floorspace not known.
Site Ref:	Stoke Gifford	Demolition of existing school to facilitate the erection of new secondary school	0.00	0.00	-14.90	0	0	-15,000	D1 Non-Residential Institutions		
1414	Bristol		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS34 8QT		0.00	0.00	-14.90	0	0	-15,000	D1 Non-Residential Institutions	Loss	0 Jobs
	361537 179372	PT08/0369/R3F									
CS12 Site:	UWE Coldharbour Lane	UWE	Gross Ha			Gross F/s Sq.m			Previous Use:	Extension of existing	
Site Ref:	Stoke Gifford	Erection of 3 storey extension to existing building to provide additional academic facilities	0.00	0.00	0.64	0	0	2,700	Car park		
1430	Bristol		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS16 1QY		0.00	0.00	0.00	0	0	2,700	D1 Non-Residential Institutions	Gain	15 Jobs
	362096 178158	PT09/0443/F									

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes Est. Job Gains/Losses
CS12 Site:	Unit 3 Centaurus Road	Halfords Ltd	Gross Ha			Gross F/s Sq.m			Previous Use:	Extension of existing	
Site Ref:	Cribbs Causeway	Refurbishment and reduction to 2 units and erection of mezzanine floor	0.00	0.00	1.15	0	0	493	A1 Shops		
1444	Bristol		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS34 5TS		0.00	0.00	0.00	0	0	303	A1 Shops	Gain	6 Jobs
	358667 181099	PT09/5387/F									
CS12 Site:	Unit 400 North Bristol Park	Great Western Ambulance	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
Site Ref:	Northway	Change of use from warehouse to ambulance station	0.00	0.00	-0.07	0	0	-1,384	B8 Storage or Distribution		
1449	Filton		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS34 7QH		0.00	0.00	-0.07	0	0	-1,384	Sui Generis	Loss	0 Jobs
	360665 180135	PT10/0230/F									
CS12 Site:	Unit 400 North Bristol Park	Great Western Ambulance	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	PT10/2034/F amends proposals to include canopies and jet washing facilities, not actioned at April 2011 survey date.
Site Ref:	Northway	Change of use from warehouse to ambulance station	0.00	0.00	0.07	0	0	1,384	B8 Storage or Distribution		
1449	Filton		Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS34 7QH		0.00	0.00	0.07	0	0	1,384	Sui Generis	Gain	85 Jobs
	360665 180135	PT10/0230/F									
CS12 Site:	Units 5 to 7 Willow Brook Centre	Mitchells and Butlers	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
Site Ref:	Bradley Stoke	Change of use to pub and restaurant	0.00	0.00	-0.08	0	0	-572	A1 Shops		
1466			Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS32 8EF		0.00	0.00	-0.08	0	0	-572	A4 Drinking Establishments	Loss	0 Jobs
	362095 181978	PT10/2214/F									
CS12 Site:	Units 5 to 7 Willow Brook Centre	Mitchells and Butlers	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
Site Ref:	Bradley Stoke	Change of use to pub and restaurant	0.00	0.00	0.08	0	0	572	A1 Shops		
1466			Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS32 8EF		0.00	0.00	0.08	0	0	572	A4 Drinking Establishments	Gain	10 Jobs
	362095 181978	PT10/2214/F									

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes Est. Job Gains/Losses
CS12 Site: Site Ref: 1467 LP E4 Site:	Patchway Library Rodway Road Patchway BS34 5PE 360086 181535	South Gloucestershire Council Demolition of existing library and pub and erection of locality hub, one stop shop, library, day centre and PO PT10/0283/R3F	Gross Ha 0.00	0.00	-0.48	Gross F/s Sq.m 0	0	-864	Previous Use: A4/D1 New Use: A1/D1	Redevelop ment Loss	0 Jobs
CS12 Site: 2 Site Ref: 1465 LP E4 Site: 5	11 Apex Court Woodlands Bradley Stoke 361795 183489	Napier Catering Change of use from office to sandwich bar PT10/3052/F	Gross Ha 0.00	0.00	-0.01	Gross F/s Sq.m 0	0	-65	Previous Use: B1 Business (a) as an office New Use: A1 Shops	Redevelop ment Loss	0 Jobs
CS12 Site: 2 Site Ref: 1465 LP E4 Site: 5	11 Apex Court Woodlands Bradley Stoke 361795 183489	Napier Catering Change of use from office to sandwich bar PT10/3052/F	Gross Ha 0.00	0.00	0.01	Gross F/s Sq.m 0	0	65	Previous Use: B1 Business (a) as an office New Use: A1 Shops	Redevelop ment Gain	7 Jobs
CS12 Site: 2 Site Ref: 1469 LP E4 Site: 5	Unit 7 Orpen Park Bradley Stoke 361029 183376	City of Bristol College Change of use to allow B1, B8, D1 PT10/2057/F	Gross Ha 0.00	0.00	-0.38	Gross F/s Sq.m 0	0	-5,250	Previous Use: B1/B2/B8 New Use: B1/B8/D1	Redevelop ment Loss	0 Jobs
CS12 Site: 2 Site Ref: 1469 LP E4 Site: 5	Unit 7 Orpen Park Bradley Stoke 361029 183376	City of Bristol College Change of use to allow B1, B8, D1 PT10/2057/F	Gross Ha 0.00	0.00	0.38	Gross F/s Sq.m 0	0	5,250	Previous Use: B1/B2/B8 New Use: B1/B8/D1	Redevelop ment Gain	0 Jobs

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes Est. Job Gains/Losses
CS12 Site: 7 Site Ref: 1333 LP E4 Site: 1	Airbus UK New Road Filton BS34 7PH 360093 179789	Airbus UK Ltd Erection of building to house test facility PT08/2064/RM	Gross Ha 0.00	0.00	0.89	Gross F/s Sq.m 0	0	3,000	Previous Use: B2 General Industrial New Use: B2 General Industrial	New Build Gain	Supersedes previous planning permission PT06/0310/RM which included this cleared site and an adjacent building. 88 Jobs
CS12 Site: 7 Site Ref: 1439 LP E4 Site: 1	Unit 11 Fairway Ind Est Golf Course Lane Filton Bristol BS34 7QS 359724 179750	Williams Motor Repairs Change of use from storage unit to vehicle repairs PT09/1249/F	Gross Ha 0.00	0.00	-0.01	Gross F/s Sq.m 0	0	-102	Previous Use: B8 Storage or Distribution New Use: B2 General Industrial	Redevelop ment Loss	0 Jobs
CS12 Site: 7 Site Ref: 1439 LP E4 Site: 1	Unit 11 Fairway Ind Est Golf Course Lane Filton Bristol BS34 7QS 359724 179750	Williams Motor Repairs Change of use from storage unit to vehicle repairs PT09/1249/F	Gross Ha 0.00	0.00	0.01	Gross F/s Sq.m 0	0	102	Previous Use: B8 Storage or Distribution New Use: B2 General Industrial	Redevelop ment Gain	3 Jobs
CS12 Site: 11 Site Ref: 1076j,k LP E4 Site: 25	Parkway Business Park New Road Stoke Gifford 361571 178969	Bristol and West/ MoD Erection of offices P94/1750	Gross Ha 0.00	0.00	1.31	Gross F/s Sq.m 0	0	9,966	Previous Use: Agricultural Land New Use: B1 Business (a) as an office	New Build Gain	Final phase covered by PT08/0103/RM for erection of offices for the MoD. PT09/1136/RM revisions to the final phase. 620 Jobs
CS12 Site: 47 Site Ref: 1032e/n LP E4 Site: 3	Land off Lysander Road Cribbs Causeway 357995 180671	Baylis Estates Erection of car showroom, maintenance and service departments PT09/5534/F	Gross Ha 0.00	0.00	1.95	Gross F/s Sq.m 0	0	3,420	Previous Use: Agricultural New Use: Sui Generis	New Build Gain	Amends PT07/3555/F 90 Jobs

Appendix 1

Employment Land Survey: "X" Schedule of Completed Employment Sites (April 2011) - Rural Areas

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type	Notes
										Impact	Est. Job Gains/Losses
CS12 Site:	The Players Club Wapley Road	The Players Club	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
Site Ref:	Codrington	Change of use of land from agricultural to golf course	0.00	0.00	20.64	0	0	0	Agricultural land		
1388			Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS37 6RX		0.00	0.00	20.64	0	0	0	D2 Assembly and Leisure	Gain	0 Jobs
	374072 178905	PK07/0773/F									
CS12 Site:	Adj. Sage Cottage Bank Road	South Gloucestershire Council	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build	
Site Ref:	Pilning	Erection of new primary school	0.00	0.00	1.48	0	0	1,299	Agricultural		
1425			Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:			0.00	0.00	1.48	0	0	1,299	D1 Non-Residential Institutions	Gain	0 Jobs
	355921 184988	PT08/2961/R3F									
CS12 Site:	Thornbury Garden Centre Cutts Heath Road	Thornbury Garden Centre	Gross Ha			Gross F/s Sq.m			Previous Use:	Extension of existing	
Site Ref:	Milbury Heath	Retention of canopy and walkways for the sale of plants	0.00	0.00	0.00	0	0	682	A1 Shops		
1461			Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	GL12 8QH		0.00	0.00	0.00	0	0	682	A1 Shops	Gain	0 Jobs
	366307 189962	PT10/2583/F									
CS12 Site:	Units 22 to 27 Pucklechurch Trading Estate	Segro (Pucklechurch) Ltd	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
42		Demolition of existing buildings and redevelopment of site to provide 6 units	0.00	0.00	-0.68	0	0	-545	B1c B2/B8		
Site Ref:	Pucklechurch		Net Ha			Net F/s Sq.m			New Use:		
1419			0.00	0.00	-0.68	0	0	-436	B1c B2/B8	Loss	-16 Jobs
LP E4 Site:	BS16 9QJ										
7	369922 175995	PK08/2278/F									

Appendix 1

Employment Land Survey: "X" Schedule of Completed Employment Sites (April 2011) - Severnside

Refs.	Location: Grid Reference:		Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type	Notes
											Impact	Est. Job Gains/Losses
CS12 Site: 46 Site Ref: 1448 LP E4 Site: 10	Units 5010 & 5020 Govier Way G Park 355187 183254	GKN Aerospace Installation of two modular buildings PT09/0188/F	Gross Ha			Gross F/s Sq.m			Previous Use:	Extension of existing		
			6.97	0.00	6.97	0	0	744	B8 Storage or Distribution			
			Net Ha			Net F/s Sq.m			New Use:	Gain	22 Jobs	
			0.00	0.00	0.00	0	0	744	B2 General Industrial			
CS12 Site: 46 Site Ref: 1468 LP E4 Site: 10	Units 3 and 5 Severn View Industrial Estate Severn Beach BS10 7SD 353822 183128	Wrings Transport Ltd Removal of modular buildings and erection of 2 storey office building PT10/0958/F	Gross Ha			Gross F/s Sq.m			Previous Use:	New Build		
			0.00	0.00	0.03	0	0	504	Vacant former industrial land			
			Net Ha			Net F/s Sq.m			New Use:	Gain	0 Jobs	
			0.00	0.00	0.00	0	0	504	B1 Business (a) as an office			

Appendix 1

Employment Land Survey: "X" Schedule of Completed Employment Sites (April 2011) - Thornbury

Refs.	Location: Grid Reference:		Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type	Notes
											Impact	Est. Job Gains/Losses
CS12 Site:	Gillingstool Primary School		South Gloucestershire Council	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
Site Ref:	Gillingstool		Demolition of existing to facilitate the erection of new school building	0.00	0.00	1.95	0	0	3,724	D1 Non-Residential Institutions		
1401	Thornbury			Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS35 2EG			0.00	0.00	1.95	0	0	2,979	D1 Non-Residential Institutions	Gain	0 Jobs
	364054	189898	PT08/2452/R3F									
CS12 Site:	6		Mr L Higon	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
38	Midland Way		Change of use from light industrial to MOT, tyre and exhaust centre	0.00	0.00	-0.02	0	0	-196	B1 Business (c) for any industrial		
Site Ref:	Thornbury			Net Ha			Net F/s Sq.m			New Use:		
1458				0.00	0.00	-0.02	0	0	-196	B2 General Industrial	Loss	0 Jobs
LP E4 Site:												
6	363736	189734	PT10/2298/F									
CS12 Site:	6		Mr L Higon	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop ment	
38	Midland Way		Change of use from light industrial to MOT, tyre and exhaust centre	0.00	0.00	0.02	0	0	196	B1 Business (c) for any industrial		
Site Ref:	Thornbury			Net Ha			Net F/s Sq.m			New Use:		
1458				0.00	0.00	0.02	0	0	196	B2 General Industrial	Gain	7 Jobs
LP E4 Site:												
6	363736	189734	PT10/2298/F									

Appendix 1

Employment Land Survey: "X" Schedule of Completed Employment Sites (April 2011) - Yate

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes Est. Job Gains/Losses
CS12 Site:	East Walk	Tesco	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop	
Site Ref:	Yate Shopping Ctr	Erection of replacement	0.00	0.00	-5.56	0	0	-5,700	A1 Shops	ment	
1404	Yate	Tesco store and a further 7	Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	BS37 4AS	retail units	0.00	0.00	-5.56	0	0	-4,560	A1 Shops	Loss	0 Jobs
	371557 182438	PK07/3391/F									
CS12 Site:	390 (Unit 1)	Mr J Clarke	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop	
Site Ref:	North Road	Change of use from road	0.00	0.00	-0.06	0	0	-200	Sui Generis	ment	
1454	Yate	haulage depot to internet car	Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	Bristol	sales	0.00	0.00	-0.06	0	0	-200	Sui Generis	Loss	0 Jobs
	BS37 7LW										
	369824 184593	PK10/1471/F									
CS12 Site:	390 (Unit 1)	Mr J Clarke	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop	
Site Ref:	North Road	Change of use from road	0.00	0.00	0.06	0	0	200	Sui Generis	ment	
1454	Yate	haulage depot to internet car	Net Ha			Net F/s Sq.m			New Use:		
LP E4 Site:	Bristol	sales	0.00	0.00	0.06	0	0	200	Sui Generis	Gain	3 Jobs
	BS37 7LW										
	369824 184593	PK10/1471/F									
CS12 Site:	Danbury House	Mr C Jones	Gross Ha			Gross F/s Sq.m			Previous Use:	Redevelop	The proposal allows greater flexibility to the current owners to let part of the building that is currently not used.
34	Armstrong Way	Change of use from B2 to	0.00	0.00	-0.31	0	0	-1,439	B2 General Industrial	ment	
Site Ref:	GWBP	mixed B1, B2, B8	Net Ha			Net F/s Sq.m			New Use:		
1396	Yate		0.00	0.00	-0.31	0	0	-1,439	Mixed use B1, B2, B8 not defined	Loss	0 Jobs
LP E4 Site:	BS37 5NG										
18	369548 183097	PK08/3031/F									

Refs.	Location: Grid Reference:	Applicant/Developer: Proposal: Application Number:	Area Ha (N/S)	Area Ha (U/C)	Area Ha (C)	F/s Sq.m (N/S)	F/s Sq.m (U/C)	F/s Sq.m (C)	Previous Use and New Use	Dev't Type Impact	Notes Est. Job Gains/Losses
CS12 Site: 34 Site Ref: 1396 LP E4 Site: 18	Danbury House Armstrong Way GWBP Yate BS37 5NG 369548 183097	Mr C Jones Change of use from B2 to mixed B1, B2, B8 PK08/3031/F	<i>Gross Ha</i> 0.00	<i>Gross Ha</i> 0.00	<i>Gross Ha</i> 0.31	<i>Gross F/s Sq.m</i> 0	<i>Gross F/s Sq.m</i> 0	<i>Gross F/s Sq.m</i> 1,439	<i>Previous Use:</i> B2 General Industrial <i>New Use:</i> Mixed use B1, B2, B8 not defined	Redevelop ment Gain	The proposal allows greater flexibility to the current owners to let part of the building that is currently not used. 0 Jobs
CS12 Site: 34 Site Ref: 1456 LP E4 Site: 18	Unit 26 Northavon Business Park Dean Road Yate 370081 183120	Star Office Management Ltd Change of use of café to office PK10/1709/F	<i>Gross Ha</i> 0.00	<i>Gross Ha</i> 0.00	<i>Gross Ha</i> -0.01	<i>Gross F/s Sq.m</i> 0	<i>Gross F/s Sq.m</i> 0	<i>Gross F/s Sq.m</i> -79	<i>Previous Use:</i> A3 Restaurants and Cafes <i>New Use:</i> B1 Business (a) as an office	Redevelop ment Loss	 0 Jobs
CS12 Site: 34 Site Ref: 1456 LP E4 Site: 18	Unit 26 Northavon Business Park Dean Road Yate 370081 183120	Star Office Management Ltd Change of use of café to office PK10/1709/F	<i>Gross Ha</i> 0.00	<i>Gross Ha</i> 0.00	<i>Gross Ha</i> 0.01	<i>Gross F/s Sq.m</i> 0	<i>Gross F/s Sq.m</i> 0	<i>Gross F/s Sq.m</i> 79	<i>Previous Use:</i> A3 Restaurants and Cafes <i>New Use:</i> B1 Business (a) as an office	Redevelop ment Gain	 7 Jobs

Appendix 2

Employment Land Survey: (April 2011)

Commitments (Ha) by Use Class and Monitoring Area

		East Fringe	North Fringe	Rural Areas	Severnside	Thornbury	Yate	South Glos. Total
A1	Gain	0.56	0.52	0.00	0.00	0.00	5.56	6.64
Shops	Loss	-0.56	0.00	0.00	0.00	0.00	0.00	-0.56
	Change	0.00	0.52	0.00	0.00	0.00	5.56	6.08
A2	Gain	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Financial and Professional Services	Loss	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Change	0.00	0.00	0.00	0.00	0.00	0.00	0.00
A3/A4/A5	Gain	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Food and Drink	Loss	-0.10	0.00	0.00	0.00	0.00	0.00	-0.10
	Change	-0.10	0.00	0.00	0.00	0.00	0.00	-0.10
Mixed A	Gain	0.00	0.05	0.00	0.00	0.00	0.00	0.05
	Loss	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Change	0.00	0.05	0.00	0.00	0.00	0.00	0.05
B1a	Gain	2.89	23.30	0.15	0.00	0.00	0.74	27.08
Offices	Loss	-0.13	-2.06	0.00	0.00	0.00	0.00	-2.19
	Change	2.76	21.24	0.15	0.00	0.00	0.74	24.89
B1b	Gain	25.00	0.00	0.00	0.00	0.00	0.00	25.00
Research and Development	Loss	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Change	25.00	0.00	0.00	0.00	0.00	0.00	25.00
B1c	Gain	0.00	0.00	0.00	0.00	0.00	0.45	0.45
Light Industry	Loss	0.00	-0.40	0.00	0.00	0.00	0.00	-0.40
	Change	0.00	-0.40	0.00	0.00	0.00	0.45	0.05
B2	Gain	0.00	2.01	1.02	0.00	0.03	0.64	3.70
General Industry	Loss	-2.59	0.00	-0.01	0.00	0.00	0.00	-2.60
	Change	-2.59	2.01	1.01	0.00	0.03	0.64	1.10
B8	Gain	0.76	0.32	0.98	31.73	0.00	0.00	33.79
Storage and Distribution	Loss	-2.77	-1.52	0.00	0.00	-0.48	-1.09	-5.86
	Change	-2.01	-1.20	0.98	31.73	-0.48	-1.09	27.93
Mixed B	Gain	28.05	18.02	2.96	171.04	0.45	0.00	220.52
	Loss	-0.48	-2.17	0.00	0.00	0.00	0.00	-2.65
	Change	27.57	15.85	2.96	171.04	0.45	0.00	217.87
Sui generis (Industrial)	Gain	2.77	1.67	0.22	4.29	0.00	0.00	8.95
	Loss	0.00	0.00	-0.22	0.00	0.00	0.00	-0.22
	Change	2.77	1.67	0.00	4.29	0.00	0.00	8.73
C1	Gain	0.00	0.22	0.00	0.00	0.00	0.00	0.22
Hotels	Loss	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Change	0.00	0.22	0.00	0.00	0.00	0.00	0.22
C2	Gain	0.21	0.13	1.56	0.00	0.00	0.00	1.90
Residential Institutions	Loss	0.00	0.00	-1.34	0.00	0.00	0.00	-1.34
	Change	0.21	0.13	0.22	0.00	0.00	0.00	0.56
D1	Gain	3.71	6.21	0.00	0.00	0.00	6.61	16.53
Non-residential Institutions	Loss	-3.13	-0.61	0.00	0.00	-1.95	-6.61	-12.30
	Change	0.58	5.60	0.00	0.00	-1.95	0.00	4.23
D2	Gain	3.33	0.00	54.80	0.00	0.00	0.00	58.13
Assembly and Leisure	Loss	-0.36	-1.67	0.00	0.00	0.00	0.00	-2.03
	Change	2.97	-1.67	54.80	0.00	0.00	0.00	56.10
Sui generis	Gain	0.00	2.94	0.00	0.00	0.00	0.00	2.94
	Loss	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Change	0.00	2.94	0.00	0.00	0.00	0.00	2.94
Other Mixed	Gain	0.80	27.10	0.00	0.00	0.00	0.00	27.90
	Loss	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Change	0.80	27.10	0.00	0.00	0.00	0.00	27.90

Floorspace Commitments (m²) by Use Class and Monitoring Area

		East Fringe	North Fringe	Rural Areas	Sevenside	Thornbury	Yate	South Glos. Total
A1	Gain	2,514	13,035	0	0	0	14,403	29,952
Shops	Loss	-1,858	0	0	0	0	0	-1,858
	Change	656	13,035	0	0	0	14,403	28,094
A2	Gain	0	0	0	0	0	0	0
Financial and Professional Services	Loss	0	0	0	0	0	0	0
	Change	0	0	0	0	0	0	0
A3/A4/A5	Gain	0	0	0	0	0	0	0
Food and Drink	Loss	-315	0	0	0	0	0	-315
	Change	-315	0	0	0	0	0	-315
Mixed A	Gain	0	131	0	0	0	0	131
	Loss	0	0	0	0	0	0	0
	Change	0	131	0	0	0	0	131
B1a	Gain	2,117	139,933	466	0	0	4,192	146,708
Offices	Loss	-801	-7,313	0	0	0	0	-8,114
	Change	1,316	132,620	466	0	0	4,192	138,594
B1b	Gain	61,297	1,955	0	0	0	0	63,252
Research and Development	Loss	0	0	0	0	0	0	0
	Change	61,297	1,955	0	0	0	0	63,252
B1c	Gain	0	0	0	0	0	330	330
Light Industry	Loss	0	-1,456	0	0	0	0	-1,456
	Change	0	-1,456	0	0	0	330	-1,126
B2	Gain	0	3,620	1,157	0	2,993	2,288	10,058
General Industry	Loss	-2,248	0	-140	0	0	0	-2,388
	Change	-2,248	3,620	1,017	0	2,993	2,288	7,670
B8	Gain	3,253	594	1,765	125,452	0	1,138	132,202
Storage and Distribution	Loss	-7,618	-5,874	0	0	-5,250	-2,338	-21,080
	Change	-4,365	-5,280	1,765	125,452	-5,250	-1,200	111,122
Mixed B	Gain	113,069	86,427	8,039	9,228	1,543	0	218,306
	Loss	-2,581	-6,565	0	0	0	0	-9,146
	Change	110,488	79,862	8,039	9,228	1,543	0	209,160
Sui generis (Industrial)	Gain	8,131	0	561	13,744	0	0	22,436
	Loss	0	0	-415	0	0	0	-415
	Change	8,131	0	146	13,744	0	0	22,021
C1	Gain	0	2,754	0	0	0	0	2,754
Hotels	Loss	0	0	0	0	0	0	0
	Change	0	2,754	0	0	0	0	2,754
C2	Gain	2,656	387	16,970	0	0	0	20,013
Residential Institutions	Loss	0	0	-11,970	0	0	0	-11,970
	Change	2,656	387	5,000	0	0	0	8,043
D1	Gain	6,815	8,561	0	0	0	8,495	23,871
Non-residential Institutions	Loss	-3,732	-840	0	0	-767	-9,616	-14,955
	Change	3,083	7,721	0	0	-767	-1,121	8,916
D2	Gain	13,720	0	24,100	0	0	0	37,820
Assembly and Leisure	Loss	-4,200	0	0	0	0	0	-4,200
	Change	9,520	0	24,100	0	0	0	33,620
Sui generis	Gain	0	4,000	0	0	0	0	4,000
	Loss	0	0	0	0	0	0	0
	Change	0	4,000	0	0	0	0	4,000
Other Mixed	Gain	3,333	93,890	0	0	0	0	97,223
	Loss	0	0	0	0	0	0	0
	Change	3,333	93,890	0	0	0	0	97,223



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